
ENVIRONMENTAL REVIEW COMMITTEE REPORT

ERC MEETING DATE: April 10, 2017

Project Name: MeadowVue Preliminary Plat

Project Number: LUA17-000106, ECF, PP, MOD

Project Manager: Alex Morganroth, Associate Planner

Owner: Tri Minh Phan and Diep Nguyen, 13833 156th Ave SE, Renton, WA 98059

Applicant/Contact: Patrick Danner, DR Horton, 12910 Totem Lake Blvd NE, Suite 220, Kirkland, WA 98034

Project Location: 13833 156th Ave SE, Renton, WA 98059

Project Summary: The applicant is requesting Preliminary Plat approval and Environmental Threshold Determination (SEPA) for a proposed 14-lot subdivision. The project site is 197,762 square feet (4.54 acres) and is located at 13833 156th Ave SE. The project site is located in the Residential-4 (R-4) zoning designation. The proposed single-family residential lots range in size from 9,633 square feet to 11,313 square feet with an overall proposed density of 3.73 dwellings per acre. One existing single-family dwelling will be removed, along with multiple associated accessory structures. Additional proposed improvements include a storm water tract in the southwest corner of the site along the 154th Ave SE frontage. The proposed lots will be served by a new public residential access street that will connect 154th Ave SE with 156th Ave SE. Proposed lots will be served by sanitary sewer along the new street that will connect to an existing main within 152nd Ave SE. Proposed lots will be served by a new water main extending from 156th Ave SE along the new street. Construction of the proposed subdivision infrastructure improvements will result in approximately 10,000 cubic yards of cut and 12,000 cubic yards of fill.

There are no critical areas mapped in the area and a Critical Areas Determination report submitted by the applicant determined that no critical areas are present on the site or on adjacent sites. Slopes on the site generally fall to the southwest across the property at a range of 0-15%. Soils consist of Alderwood gravelly sandy loam (AgC). The applicant has proposed to retain nine (9) of the 35 significant trees onsite. The applicant has submitted a Technical Information Report, Arborist Report, a Critical Areas Determination and a Geotechnical Engineering Study with the application.

Site Area: 197,762 SF (4.54 acres)

STAFF RECOMMENDATION: Staff Recommends that the Environmental Review Committee issue a Determination of Non-Significance - (DNS).

Project Location Map:

PART ONE: PROJECT DESCRIPTION / BACKGROUND

The applicant is requesting Preliminary Plat approval and Environmental (SEPA) Review for the subdivision of one parcel totaling 4.54-acres located at 13833 156th Ave SE, within the NE $\frac{1}{4}$ of the SW $\frac{1}{4}$ of Section 14, Township 23 North, Range 5 East, in King County, Washington. (*Exhibit 3*). The specific parcel number is 1463400060. The project site formerly consisted of one (1) single family dwelling, multiple associated accessory buildings and open space. The site is proposed to be subdivided into 14 single-family residential lots, associated road and utility improvements, and a storm water tract (*Exhibits 2, 6, 7, & 8*). The storm water tract would consist of a detention pond with permanent wet-pool to treat runoff in the southwest corner of the site.

The subject site is bordered by single-family homes around all sides of the property. Located to the north of the site is SE 3rd St, SE 142nd Pl is to the south, 156th Ave SE is to the east, and 154th Ave SE is to the west.

Table 1. Surrounding Land Use and Zoning

Location	Comprehensive Land Use	Zoning
Site	Residential Low Density (RLD)	Residential-4 Dwelling Units Per Net Acre (R-4)
North	Residential Low Density (RLD)	Residential-4 Dwelling Units Per Net Acre (R-4)
South	Residential Low Density (RLD)	R-6 (King County Zoning Designation)
East	Residential Low Density (RLD)	Residential-4 Dwelling Units Per Net Acre (R-4)
West	Residential Low Density (RLD)	R-6 (King County Zoning Designation)

The 4.54-acre project site is located within the Residential - 4 (R-4) dwelling units per net acre zoning classification. The net density of the project is 3.73 dwelling units per net acre ($14 / 3.75$ net acres = 3.73 du/acre) and the 17 lots would range in size from 9,633 square feet to 11,313 square feet with an average lot size of 10,132 square feet (*Exhibit 2*).

The property has one (1) existing single family dwelling and multiple accessory buildings. The applicant is proposing the demolition of all existing buildings on the project site. Access to the site would be provided via a new road (Road A), near the north-south centerline of the site, which would extend from 156th Ave SE to 154th Ave SE. The section of 154th Ave SE ROW bordering the proposed site to the west is currently unimproved. A gravel roadway in the 154th Ave SE ROW extends from the existing property south of the site at 13929 154th Ave SE to the intersection of SE 142nd St and 154th Ave SE. The roadway is located in King County jurisdiction and is no longer maintained by the County. The applicant is proposing 53-foot wide residential access road for Road A. Road A, measured from centerline of 156th Ave SE to the centerline of 154th Ave SE, measures approximately 654 feet in length.

The proposed subdivision would include frontage improvements on 154 Ave SE and 156 Ave SE to add concrete vertical curb, gutter, sidewalk, and planter strip. The applicant has proposed half-street improvements with no ROW dedication for 154 Ave SE (a Residential Access Road) in order to provide a turnaround and the option for a future connection to Toledo Ave SE to the north and to the maintained portion of 154th Ave SE to the south. The applicant has submitted a street modification request for 156th Ave SE proposing half-street improvements and a ROW dedication of 5.5 feet. The improvements and ROW dedication would add up to 31,495 square feet. The remaining 3.82 acres would be the developed site which would consist of homes, driveways, and landscaping.

The developed site would provide Basic Water Quality treatment in addition to meeting the City's Flood Problem Control Standards (King County Level 3) for flow control per the 2017 Renton Surface Water Design Manual (RSWDM). Water quality storm volumes are proposed to be treated with a permanent wet pool in the detention pond located in the southwest corner of the site.

The property includes 35 significant trees comprised of a mixture of native species. The site generally slopes slightly from NE to SW across the property with a total fall of approximately 15 feet (*Exhibit 4*). According to the Geotechnical Engineering Study prepared by Terra Associates, Inc (*Exhibit 11*), the native soils encountered at the test pit locations included six to eight inches of organics overlying 2.5 to 3 feet of medium dense silty sand with gravel and was consistent with the makeup of Ground Moraine Deposits. According to the study, the site possesses a low susceptibility to landslide and erosion activity. The geotechnical study found that the proposed residential development is feasible from a geotechnical standpoint.

PART TWO: ENVIRONMENTAL REVIEW

In compliance with RCW 43.21C.240, the following environmental (SEPA) review addresses only those project impacts that are not adequately addressed under existing development standards and environmental regulations.

A. Environmental Threshold Recommendation

Based on analysis of probable impacts from the proposal, staff recommends that the Responsible Officials:

Issue a DNS with a 14-day Appeal Period.

B. Mitigation Measures

1. The applicant shall provide an updated TIR utilizing the Level 3 Flow Control standards per the RSWDM for review and approval by the Plan Reviewer and Current Planning Project Manager at the time of Construction Permit application.
2. The applicant shall be responsible for paying their fair share of the cost of a new signal to be installed at the 156th Avenue SE/SE 142nd Place intersection. A fee in the amount of \$4,961.83 (13 new PM peak hour trips/1,310 total PM peak hour trips = .00992 x \$500,000 = \$4,961.83) shall be paid prior to the recording of the final plat.

C. Exhibits

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|------------|--|
| Exhibit 1 | ERC Report |
| Exhibit 2 | MeadowVue Preliminary Plat Plan |
| Exhibit 3 | Neighborhood Detail Map |
| Exhibit 4 | Topography Map |
| Exhibit 5 | Preliminary Landscaping Plan (Sheets 1-2) |
| Exhibit 6 | Preliminary Grading Plan |
| Exhibit 7 | Preliminary Utility Plan |
| Exhibit 8 | Preliminary Drainage Control Plan |
| Exhibit 9 | Preliminary Road Profiles |
| Exhibit 10 | Preliminary Road Sections |
| Exhibit 11 | Geotechnical Engineering Study prepared by Terra Associates, Inc (dated February 2, 2017) |
| Exhibit 12 | Preliminary Technical Information Report prepared by CPH Consultants (dated February 25, 2015) |
| Exhibit 13 | Email from Rohini Nair, Civil Engineer, City of Renton (dated September 23, 2016) |
| Exhibit 14 | Arborist Report prepared by S.A. Newman Firm (dated January 16, 2017) |
| Exhibit 15 | Critical Areas Determination Report prepared by Acre Environmental Consulting, LLC. (dated September 13, 2016) |
| Exhibit 16 | Construction Mitigation Description |
| Exhibit 17 | Email from Corey Thomas, Fire Plans Reviewer, Renton Fire Authority (dated April 3, 2017) |
| Exhibit 18 | Advisory Notes to Applicant |
| Exhibit 19 | Public Comments and Responses |

D. Environmental Impacts

The proposal was circulated and reviewed by various city departments and divisions to determine whether the applicant has adequately identified and addressed environmental impacts anticipated to occur in conjunction with the proposed development. Staff reviewers have identified that the proposal is likely to have the following probable impacts:

1. Earth

Impacts: No geo-hazards are mapped on the site. A Geotechnical Engineering Study prepared by Terra Associates, Inc. (dated February 2, 2017; *Exhibit 11*) was submitted with the project application. The site topography descends relatively gently from the northeast corner to the southwest corner of the site with an estimated total elevation change to be on the order of 15 feet across the site. The steepest slope identified by the applicant was approximately 15 percent. The study recommends installing perimeter foundation drains adjacent to shallow foundations due to the poor infiltration on-site.

The applicant indicates that the estimated quantities for structural fill onsite would be approximately 10,000 cubic yards of cut and 12,000 cubic yards of fill. This grading would be required for the construction of required plat improvements and new single family residences. Temporary erosion and sedimentation control measures would be implemented during construction including, but not limited to, Best Management Practices (BMPs) such as site preparation and grading during the drier summer and early fall months, installing siltation control fencing around the work areas, and establishing a quarry spall construction entrances in accordance with City of Renton requirements (*Exhibit 16*). Grading transitions throughout the site will be supported by short retaining walls or slopes.

On October 28, 2015, a total of seven (7) test pits to approximate depths of six (6) to seven and one half (7.5) feet below existing site grades (TP-1 through TP-7) were excavated across the project site with a mini trackhoe. On January 25, 2017, supplemented data was gathered by excavating four infiltration test hand holes to a maximum depth of three feet below site grade. Organics were encountered within the upper 6 to 8 inches of existing grades at the test pit (TP) locations with an estimated average thickness of seven inches across the site. Conditions underlying the organics include two and one half (2.5) to three (3) feet of medium dense sand with gravel (weather till). Dense to very dense silty sand with gravel (unweathered glacial till) were encountered between depths of about three (3) feet to the termination of the test pits and hand holes. During the initial subsurface exploration tests, groundwater seepage was not encountered. However, minor perched ground water was observed in two of the supplemental hand holes between one-half (.5) to three (3) feet below current grade. The study indicates that minor perched groundwater seepage zones should be anticipated within site excavations, especially within deeper excavations for utilities and the detention pond.

Per the City of Renton (COR) Maps, the site does not contain landslide hazard potential. According to the geotechnical engineer, the site possesses a low susceptibility to landslide due to shallow site slopes of less than 15%.

The provided report concludes that the construction of the proposed residential development is feasible from a geotechnical standpoint. The proposed residential buildings can be supported on conventional continuous and spread footings bearing on competent inorganic native soils or new structural fill. Pavement and floor slabs can be similarly supported. The geotechnical engineer anticipates difficulty in compacting native soils used for structural fill when wet due to the amount of soil fines present. The ability to use native soil as structural fill will ultimately depend on its moisture content and the weather conditions at the time of construction.

The primary geotechnical considerations submitted geotechnical report include foundation support, slab-on-grade subgrade support, the suitability of using onsite soils as structural fill, and construction of the vault.

Mitigation Measures: No further mitigation required.

Nexus: Not applicable

2. Water

a. Wetlands, Streams, Lakes

Impacts: A Critical Areas Determination Report was prepared by Acre Environmental Consulting, LLC (dated September 13, 2016; *Exhibit 15*) to perform a wetland reconnaissance within and surrounding the site. Based on a field investigation and existing available online resources, no wetlands or streams were identified by the Ecologist either within the boundary of the investigation area or on adjacent sites. According to the City of Renton COR Maps there are no onsite or immediately off-site wetlands, streams or buffers on the subject parcel.

Mitigation Measures: No further mitigation required.

Nexus: Not applicable

b. Storm Water

Impacts: The applicant submitted a Preliminary Technical Information Report (TIR), prepared by CPH Consultants (dated February 6, 2016; *Exhibit 12*). According to the TIR, the project is required to provide Basic Water Quality treatment in addition to Level 3 Flow Control per current City of Renton surface water standards, including recent adoption of the 2017 Renton Surface Water Design Manual (RSWDM). Water quality storm volumes are proposed to be treated with a combined detention and water quality pond in the southwest corner of the site. A series of onsite catch-basin inlets and underground pipes would collect and convey surface water runoff westerly within proposed road right-of-way for the majority of the developed site to the combined detention and water quality pond for flow control. Release rates will be controlled by a control riser and discharged to an existing ditch located southwest of the site, on the east of 154th Ave SE ROW. A portion of the runoff along 154th Ave SE and 156th Ave SE will be bypassed due to the existing topography and grade of the roads. To offset the detained and untreated area, the site will be treating runoff from a portion of previously untreated pavement along 156th Ave SE.

The project is subject to the on-site BMP requirements found in Core Requirement #9. According to the TIR, neither full dispersion nor full infiltration are feasible due to poor soil characteristics and insufficient flow paths. In addition, secondary and tertiary-level BMPs such as rain gardens, bioretention, permeable pavement, and basic dispersion were evaluated and deemed infeasible to the poor soil infiltration characteristics and the expectation of perched ground water on the site. However, according to City Staff, basic dispersion may be a viable BMP for some lots. Feasibility of on-site BMPs would be evaluated at the time of building permit review.

Multiple owners of properties adjacent to or near the project site submitted comments to staff regarding the persistent drainage issues on the unimproved section of 154th Ave SE south of the project site (*Exhibit 19*). The neighboring property owners were concerned about the potential impacts from the proposed development as the project site slopes towards their properties. The RSWDM requires the applicant to provide Level 2 Flow Control for the proposed project. Level 3 Flow control pursuant to the RSWDM would result in the site run off matching the 100 year flood peak flows. By increasing the requirement from Level 2 Flow control to Level 3 Flow control it would insure that the new development does not exacerbate the existing flooding situation along 154th Ave. SE. As such, staff recommends as a mitigation measure that the applicant comply with Level 3 Flow control standards pursuant to the RSWDM.

The submitted geotechnical report identifies the soils as 6 to 8 inches of organics over 2.5 to 3 feet of medium dense silty sand with gravel over dense to very dense silty sand with gravel not supportive of infiltration or low impact development (LID) techniques on-site. (*Exhibit 11*).

Mitigation Measures: The applicant shall provide an updated TIR utilizing the Level 3 Flow Control standards per the RSWDM for review and approval by the Plan Reviewer and Current Planning Project Manager at the time of Construction Permit application.

Nexus: SEPA Environmental Regulations; RSWDM RMC 4-6-030

3. Trees and Vegetation

Impacts: The property is covered primarily with actively grazed pasture consisting of a mix of blackberry, colonial bentgrass, velvet grass tall fescue, creeping buttercup, common Tansy, purple dead-nettle, English plantain, white clover, and small patches of Himalayan blackberry. Several larger trees are located around project site, including bigleaf maple, Lombardy poplar, Western red cedar, Leyland cypress, and various fruit trees (*Exhibit 5 and 14*). The Arborist Report identified 35 significant trees on the parcel proposed to be developed (*Exhibit 14*). Seven (7) of the 35 trees were classified as poor or dangerous and twelve (12) trees were located within the proposed road network. The net number of significant trees for this development was determined to be 16 trees. The average size of the trunk at diameter at breast height (DBH) for the 16 viable trees is 18 inches (18") with the largest tree, a Bigleaf maple at 60" DBH, located on the northwest corner of the site. The minimum tree retention requirement is thirty percent (30%) in the R-4 zone. Therefore, the applicant must retain at least five (5) trees. After street and critical area deductions, the applicant is proposing to retain nine (9) of the potential 16 healthy trees. All retained trees (i.e., protected trees) would be required to be protected during construction pursuant to RMC 4-4-130.

The applicant is proposing to replant the subdivision with 46 new trees including 28 aristocrat flowering pear, 11 Japanese maple, 9 alpine fir, 6 red barron crab apple, and 2 western red cedar. The proposed onsite replacement trees exceed the minimum required replacement inches, 12 inches (12") for every tree that was unable to be retained, or 36 inches (12") for this project. Where there is insufficient ROW space or no public frontage, street trees are required in the front yard(s). Community Services has requested the applicant plant specific tree species (*Exhibit 18*). A final detailed landscape plan must be submitted and approved prior to issuance of the street and utility construction permits.

Mitigation Measures: No further mitigation required.

Nexus: Not applicable

4. Transportation

Impacts: Primary access to the site would be provided via a new proposed Residential Access Road from on 156th Ave SE, as shown in the preliminary site plan (*Exhibit 2*). The preliminary road profiles and road sections (*Exhibits 9 & 10*) propose existing and proposed grading and road improvements within three roads; 156th Ave SE, 154 Ave SE, and Road A.

156th Ave SE is classified as a Minor Arterial Road and the existing ROW width is approximately 60 feet. To meet the City's complete street standards, RMC 4-6-060, a minimum ROW width of 91 feet for Minor Arterial Road is required. In addition to the travel lanes a Minor Arterial ROW requires 0.5-foot wide curbs, 8-foot wide landscaped planters, 8-foot wide sidewalks, and 5-foot wide bike lanes. In order to build this street a dedication of 15.5 feet of ROW would be required along the project side of 156th Ave SE. The City of Renton's Transportation Department's plan for 156th Ave SE consist of a cross section with 44-foot paved width, 0.5-foot wide curbs, 8-foot wide planters, 5-foot wide sidewalks. This can be achieved in a total right of way width of 71 feet. In order to build this street section, approximately 5.5 feet of ROW would be required to be dedicated to the City along the

project side of 156th Ave SE. The applicant has submitted a request for a street modification to reduce the width of the ROW dedication from 15.5 to 5.5 feet.

154th Ave SE, located along the west property line, is classified as a Residential Access Road with approximately 60 feet of ROW. To meet the City's complete street standards for residential access roads, the minimum ROW width would be 53 feet, requiring no ROW dedication. As no existing paved roadway exists for 154th Ave SE, a 20-foot paved half-roadway section is required along the project side of 154th Ave SE with a new curb line set 13 feet east of the center of the ROW. Frontage improvements shall include a 0.5-foot wide curb, 8-foot wide planter, and 5-foot wide sidewalk along the project side of the roadway.

The applicant has proposed a new Residential Access Road through the subdivision (Road A). The applicant is proposing a cross-section that includes a ROW width of 53 feet with 26 feet of pavement, 8-foot wide landscaped planters, 5-foot wide sidewalks, and 0.5-foot wide curbs. The roadway would provide two (2) 10-foot travel lanes and one (1) 6-foot parking lane.

Gibson Traffic Consultants has calculated that the project would generate a total of 10 new vehicle trips per hour in the AM peak period and 13 new vehicle trips per hour in the PM peak period (*Exhibit 13*). The City does not require Traffic Impact Analyses for developments if both new AM and PM peak period vehicle trips are less than 20. Adequate sight distance would be provided at the intersection of the proposed new street and 156th Ave SE and the intersection of the proposed new street and 154th Ave SE.

Multiple owners of properties adjacent to or near the project site have submitted comments to staff expressing concerns about the potential traffic impact (*Exhibit 19*). 154th Ave SE is no longer maintained by King County and residents are concerned that traffic will use the road as a shortcut, thereby increasing the maintenance burden for the existing residents that maintain the road on their own.

In 2014, City's Transportation Division conducted an independent study of the background traffic situation at the 156th Avenue SE/SE 142nd Place intersection. Based on the city's study, the existing conditions warrant the installation for a traffic signal at this intersection with or without the construction of any new subdivisions. With the installation of a permanent traffic signal at this intersection, it is anticipated that the traffic conditions in the project vicinity would improve. The installation of a traffic signal is not included on the City's Transportation Improvement Program (TIP), therefore transportation impact fees would not fund the installation of a signal. Therefore staff recommends that as a mitigation measure that the proposed project be responsible for paying their fair share of the cost of a new permanent signal to be installed at the 156th Avenue SE/SE 142nd Place intersection.

It is not anticipated that the proposed project would adversely impact the City of Renton's street system subject to the payment of code-required impact fees and the construction of code-required frontage improvements (*Exhibit 18*). The fee, as determined by the Renton Municipal Code at the time of building permit issuance shall be payable to the City.

A concurrency recommendation will be provided in the staff report to the Hearing Examiner based upon the test of the citywide Transportation Plan, consideration of growth levels included in the LOS-tested Transportation Plan, payment of a Transportation Mitigation Fee, and an application of site specific mitigation. The development will have to meet the City of Renton concurrency requirements.

Mitigation Measures: The applicant shall be responsible for paying their fair share of the cost of a new signal to be installed at the 156th Avenue SE/SE 142nd Place intersection. A fee in the amount of

\$4,961.83 (13 new PM peak hour trips/1,310 total PM peak hour trips = .00992 x \$500,000 = \$4,961.83) shall be paid prior to the recording of the final plat.

Nexus: SEPA Environmental Regulations, RMC 4-6-060 Street Standards

5. Fire & Police

Impacts: A variance request was submitted to the Renton Fire Authority in order to allow for the sprinkling of all proposed residential structures in lieu of providing a full 90 foot diameter cul-de-sac turnaround, as required for dead end streets exceeding 300 feet (RMC 4-6-060.H). The Renton Fire Authority approved the variance on April 3, 2017 (*Exhibit 17*). As such, the proposed new Road A would end at the point it intersects with 154th St. SE with no temporary cul-de-sac turn around.

Police and Fire Prevention staff indicated that sufficient resources exist to furnish services to the proposed development subject to the construction of code-required improvements and the payment of code-required impact fees (*Exhibit 18*).

Mitigation Measures: No further mitigation required.

Nexus: Not applicable

E. Comments of Reviewing Departments

The proposal has been circulated to City Department and Division Reviewers. Where applicable, their comments have been incorporated into the text of this report and/or listed under *Exhibit 18* "Advisory Notes to Applicant."

- ✓ **Copies of all Review Comments are contained in the Official File and may be attached to this report.**

The Environmental Determination decision will become final if the decision is not appealed within the 14-day appeal period (RCW 43.21.C.075(3); WAC 197-11-680).

Environmental Determination Appeal Process: Appeals of the environmental determination must be filed in writing together with the required fee to: Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057, on or before 5:00 p.m. on April 28, 2017. RMC 4-8-110 governs appeals to the Hearing Examiner and additional information regarding the appeal process may be obtained from the City Clerk's Office, Renton City Hall – 7th Floor, (425) 430-6510.

EXHIBITS

SURVEY DATA

EXISTING BOUNDARY, TOPOGRAPHIC, AND PLANIMETRIC INFORMATION SHOWN ON THIS PLAN AND OTHERS IN THIS SET WERE USED AS A BASIS FOR DESIGN AND REPRESENT FIELD SURVEY DATA AND MAPPING PREPARED BY AXIS SURVEY & MAPPING (AXIS JOB NO. 16-223), AS PROVIDED BY THE PROJECT OWNER, AND DOES NOT REPRESENT WORK BY CPH CONSULTANTS. THE FOLLOWING SURVEY DATA WAS PROVIDED WITH THE TOPOGRAPHIC MAP BY AXIS SURVEY & MAPPING:

LEGAL DESCRIPTION

EASEMENTS AND LEGAL DESCRIPTION ARE BASED ON THE COMMITMENT FOR TITLE INSURANCE BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NO. 4266-2536097, DATED AUGUST 11, 2016, AT 7:30 A.M.

LOT 4, BLOCK 2, CEDAR RIVER FIVE ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 52, RECORDS OF KING COUNTY, WASHINGTON.

DATUM

HORIZONTAL DATUM: NAD '83/91 PER CITY OF RENTON CONTROL POINT #2103
VERTICAL DATUM: NAVD '88 PER CITY OF RENTON CONTROL POINT #2103

ORIGINATING BENCHMARK:
CITY OF RENTON CONTROL POINT #2103
FOUND SMALL PIECE OF BROKEN BRASS SURFACE DISK IN 3" DIAMETER CONC PLUGGED DRILL HOLE (03/07) & (11/16)
ELEVATION: 547.942'

TEMPORARY BENCHMARK:
TBM 'A'
SET RAILROAD SPIKE IN EAST FACE OF A UTILITY POLE W/ LIGHT LOCATED AT THE WEST SIDE OF THE INTERSECTION OF SE 138TH PL & 156TH AVE SE.
0.7' ABOVE GRADE
ELEVATION: 421.94'

TBM 'B'
SET FILED 'X' IN TOP WESTERLY FLANGE BOLT ON FIRE HYDRANT LOCATED AT THE NE QUADRANT OF THE INTERSECTION OF 156TH AVE SE & SE 139TH PL.
ELEVATION: 412.24'

TBM 'C'
SET CHISELED SQUARE IN THE NW CORNER OF A WATER VAULT LOCATED AT THE EAST EDGE OF 156TH AVE SE, +/- 75' NORTH OF THE INTERSECTION OF 156TH AVE SE & SE 5TH PL.
ELEVATION: 400.02'

TBM 'D'
AT THE TOP POINT OF THE 'A' IN 'IOWA' STAMPED IN THE BONNET OF A FIRE HYDRANT LOCATED AT +/- SOUTHWESTERLY CORNER SITE.
3' ABOVE GRADE.
ELEVATION: 385.00'

TBM 'E'
TOP SOUTHWEST CORNER OF 1.2' X 1.2' X 3.6' TALL BRICK COLUMN LOCATED AT THE NORTH SIDE OF THE DRIVEWAY TO HOUSE NO. 14010 AT 154TH AVE SE.
ELEVATION: 386.18'

BASIS OF BEARING

HELD A BEARING OF NORTH 00°29'18" EAST ALONG THE MONUMENTED CENTERLINE OF 156TH AVE SE

REFERENCES:

- KING COUNTY ASSESSOR'S MAP FOR THE SW 1/4, SEC. 14, TWP. 23N., RGE 05E., W.M. PLAT - CEDAR RIVER FIVE ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 52, RECORDS OF KING COUNTY, WASHINGTON.
- (R1) - HIGHLAND ESTATES, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 212 OF PLATS, PAGES 10-13, RECORDS OF KING COUNTY, WASHINGTON.
 - (R2) - THE WOODS AT HIGHLANDS PARK (CURRENTLY UNDER OFFICIAL REVIEW)
 - (R3) - BOUNDARY LINE ADJUSTMENT NO. L09L0017, RECORDED IN VOLUME 263, PAGE 194, RECORDS OF KING COUNTY WASHINGTON.
 - (R4) - RECORD OF SURVEY BY C & C SURVEYING, RECORDED IN VOLUME 80, PAGE 188, RECORDS OF KING COUNTY, WASHINGTON.
 - (R5) - SHORT PLAT NO. L9550020, RECORDED IN VOLUME 115, PAGE 196, RECORDS OF KING COUNTY, WASHINGTON.
 - (R6) - RECORD OF SURVEY BY CONCEPT ENGINEERING, INV., RECORDED IN VOLUME 78, PAGE 1, RECORDS OF KING COUNTY, WASHINGTON.
 - (R7) - RECORD OF SURVEY BY TRIAD ASSOCIATES, RECORDED IN VOLUME 209, PAGE 095, RECORDS OF KING COUNTY, WASHINGTON.
 - (R8) - RECORD OF SURVEY BY GEODETIC SURVEYING SERVICES, RECORDED IN VOLUME 253, PAGE 279, RECORDS OF KING COUNTY, WASHINGTON.
 - (R9) - RECORD OF SURVEY BY KENNETH J. OYLER, C.E. & L.S., RECORDED IN VOLUME 18, PAGE 278, RECORDS OF KING COUNTY, WASHINGTON.
 - (R10) - RECORD OF SURVEY BY CAVNESS ENGINEERS INC., RECORDED IN VOLUME 12, PAGE 10, RECORDS OF KING COUNTY, WASHINGTON.

EQUIPMENT NOTES

PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING LEICA GS14 GPS/GNSS EQUIPMENT. MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING LEICA ELECTRONIC 1201 TOTAL STATIONS FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WACS 332-130-080/090.

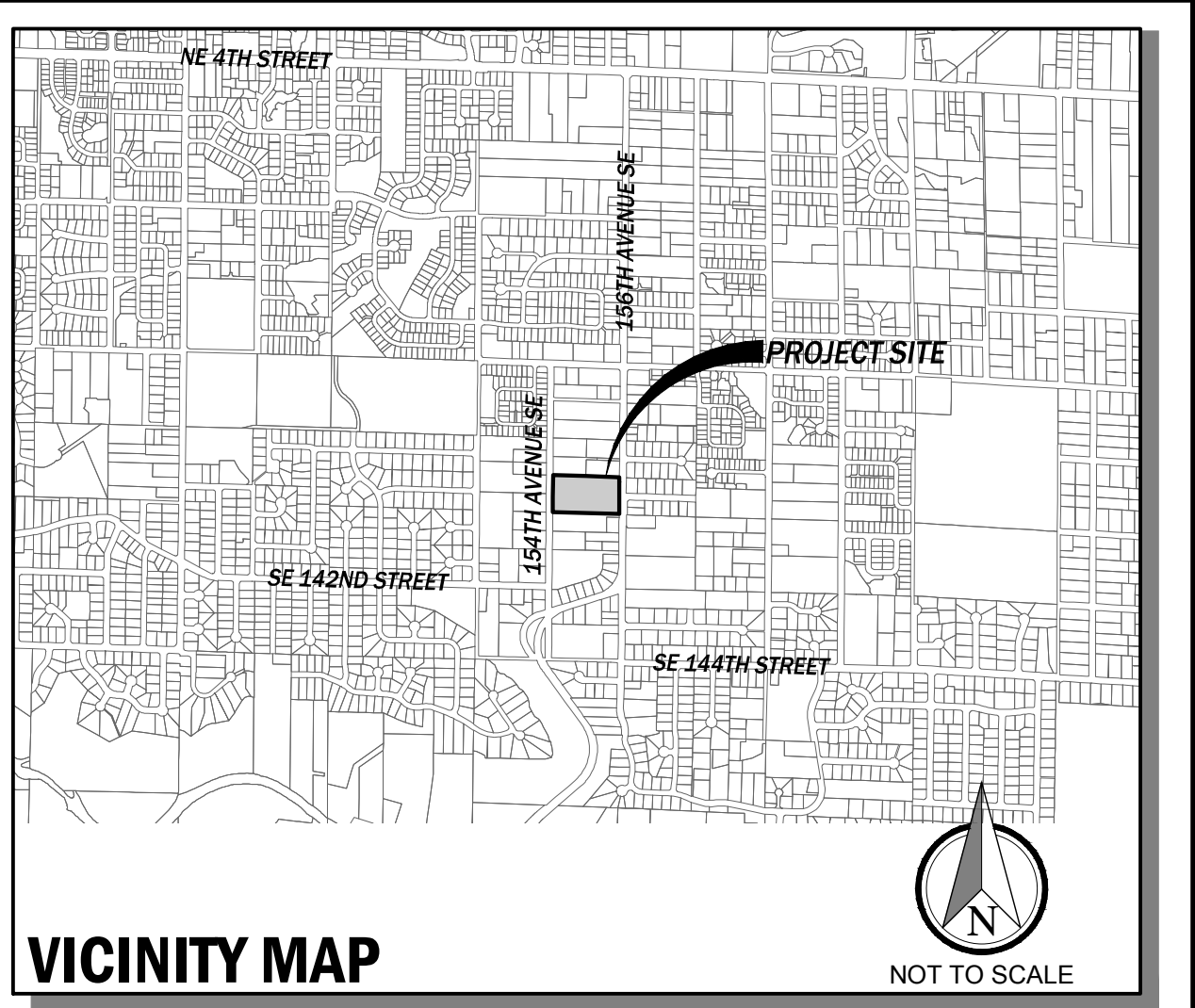
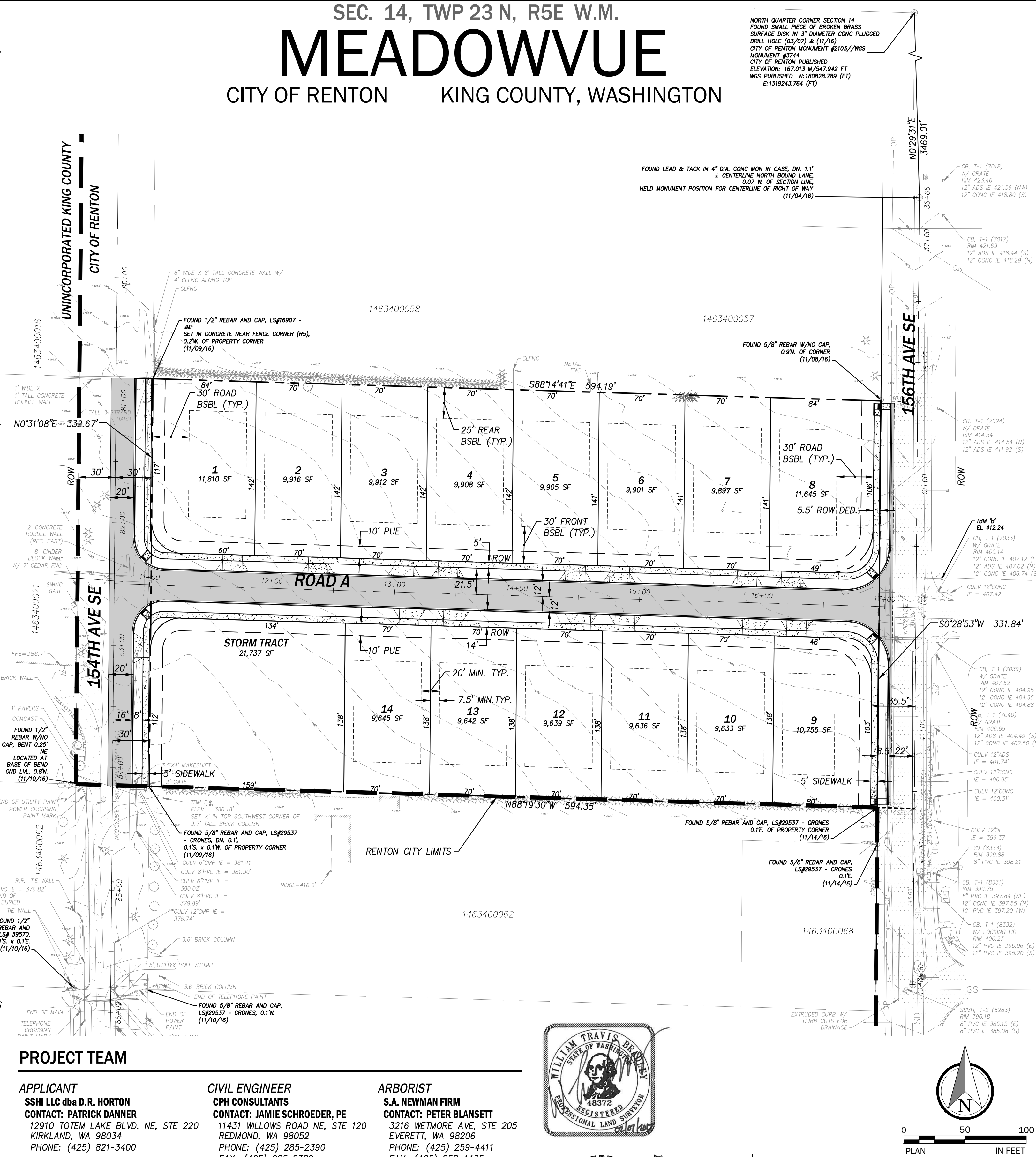
NOTES

UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON ASBUILT FIELD LOCATION OF EXISTING STRUCTURES. FIELD LOCATION OF UTILITIES BASED ON LOCATOR PAINT MARKINGS AND LOCATIONS BASED ON UTILITY MAPS FROM CITY AND UTILITY DRAWINGS INDICATING REPORTED UTILITY INSTALLATIONS. OTHER UTILITIES MAY EXIST. NO SUB-SURFACE EXPLORATION WAS MADE TO VERIFY UTILITY ROUTINGS AND THE ROUTING OF ALL BURIED UTILITIES SHOULD BE CONFIRMED WITH THE UTILITY PURVEYOR AND EXPOSED IN AREAS CRITICAL TO DESIGN FOR VERIFICATION.

THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON NOVEMBER 4-14, 2016 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

THIS SURVEY DISCLOSES FACTORS OF RECORD AND ON THE GROUND AFFECTING THE SUBJECT PROPERTY BOUNDARY, BUT IT DOES NOT PURPORT TO LEGALLY RESOLVE RELATED PROPERTY LINE DISPUTES. WHERE AMBIGUITIES ARE NOTED, AXIS RECOMMENDS THAT THE OWNER CONSULT WITH LEGAL COUNSEL TO DETERMINE HOW BEST TO INTERPRET THEIR PROPERTY RIGHTS AND ADDRESS ANY POTENTIAL PROPERTY LINE DISPUTES.

SEC. 14, TWP 23 N, R5E W.M.
MEADOWVUE
CITY OF RENTON KING COUNTY, WASHINGTON



PROJECT DATA

GENERAL	
PARCEL NO:	1463400060
ADDRESS:	13833 156TH AVE SE RENTON, WA 98059
ZONING:	R-4
PRESENT USE:	SINGLE FAMILY
JURISDICTION:	CITY OF RENTON
SITE DEVELOPMENT	
TOTAL SITE AREA	4.54 AC (197,406 SF)
PROPOSED # OF LOTS:	14
PERMITTED SITE DENSITY:	4 DU/AC
PROPOSED SITE DENSITY:	3.73 DU/AC
ALLOWABLE LOT IMPERVIOUS AREA:	40% PER PROPOSED COVENANTS
MIN. LOT SIZE	9,633 SF
MAX. LOT SIZE	11,313 SF
ROW DEDICATION	33,827 SF
STORM TRACT	21,737 SF
SETBACKS	
FRONT -	30'
REAR -	25'
SIDE -	7.5' (20' TOTAL)
SIDE (AT STREET):	30'
MAX. BUILDING COVERAGE:	35%
MAX. BUILDING HEIGHT:	30 FT
SERVICE PROVIDERS	
WATER	WATER DISTRICT NO. 90
SANITARY SEWER	CITY OF RENTON
POWER/ELECTRIC	PUGET SOUND ENERGY
NATURAL GAS	PUGET SOUND ENERGY
TELEPHONE/CABLE/INTERNET	COMCAST, CENTURY LINK
SCHOOL DISTRICT	RENTON #403
GARBAGE	WASTE MANAGEMENT

DRAWING INDEX

SHEET	DWG	DESCRIPTION
1	P1.00	PRELIMINARY PLAT
2		BOUNDARY & TOPOGRAPHIC SURVEY
3	P2.00	NEIGHBORHOOD DETAIL MAP
4	P3.00	PRELIMINARY GRADING PLAN
5	P4.00	DRAINAGE CONTROL PLAN
6	P5.00	PRELIMINARY UTILITY PLAN
7	P5.01	PRELIMINARY OFF-SITE UTILITY PLAN AND PROFILE
8	P6.00	PRELIMINARY ROAD SECTIONS
9	P7.00	PRELIMINARY ROAD PROFILES
10	P7.01	PRELIMINARY ROAD PROFILES

PRELIMINARY PLAT		
OWNER/APPLICANT	SSHJ, LLC dba D.R. HORTON 12910 TOTEM LAKE BLVD. NE, SUITE 220 KIRKLAND, WA 98034 PHONE: (425) 825-3186	
PROJECT SURVEYOR	AXIS SURVEY & MAPPING MITCH T.S. EVANS, PLS 15241 NE 90TH STREET REDMOND, WA 98052 PHONE: (425) 823-5700 FAX: (425) 823-6700	
SCALE	PROJECT NO.	SHEET P1.00
AS NOTED	0035-15-012	1 OF 10

PROJECT TEAM

APPLICANT
SSHJ LLC dba D.R. HORTON
CONTACT: PATRICK DANNER
12910 TOTEM LAKE BLVD. NE, STE 220
KIRKLAND, WA 98034
PHONE: (425) 821-3400

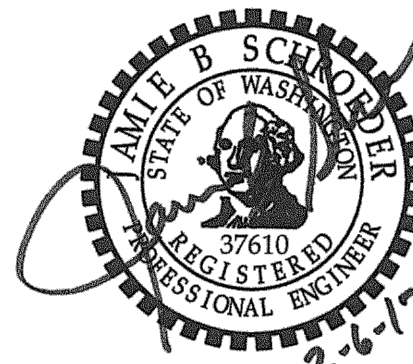
SURVEYOR
AXIS SURVEY & MAPPING
CONTACT: MITCH T.S. EVANS
15241 NE 90TH STREET
REDMOND, WA 98052
PHONE: (425) 823-5700
FAX: (425) 823-6700

CIVIL ENGINEER
CPH CONSULTANTS
CONTACT: JAMIE SCHROEDER, PE
11431 WILLOWS ROAD NE, STE 120
REDMOND, WA 98052
PHONE: (425) 285-2390
FAX: (425) 285-2389

LANDSCAPE ARCHITECT
CRAMER DESIGN CONSULTANTS
CONTACT: GAYLE CRAMER
1909 242ND ST SE
BOTHELL, WA 98021
PHONE: (425) 241-6258
FAX: (425) 483-6062

ARBORIST
S.A. NEWMAN FIRM
CONTACT: PETER BLANSETT
3216 WETMORE AVE, STE 205
EVERETT, WA 98206
PHONE: (425) 259-4411
FAX: (425) 258-4435

GEOTECHNICAL ENGINEER
TERRA ASSOCIATES, INC.
CONTACT: CAROLYN DECKER, PE
12220 113TH AVE NE, STE 130
KIRKLAND, WA 98034
PHONE: (425) 821-7777
FAX: (425) 821-4334



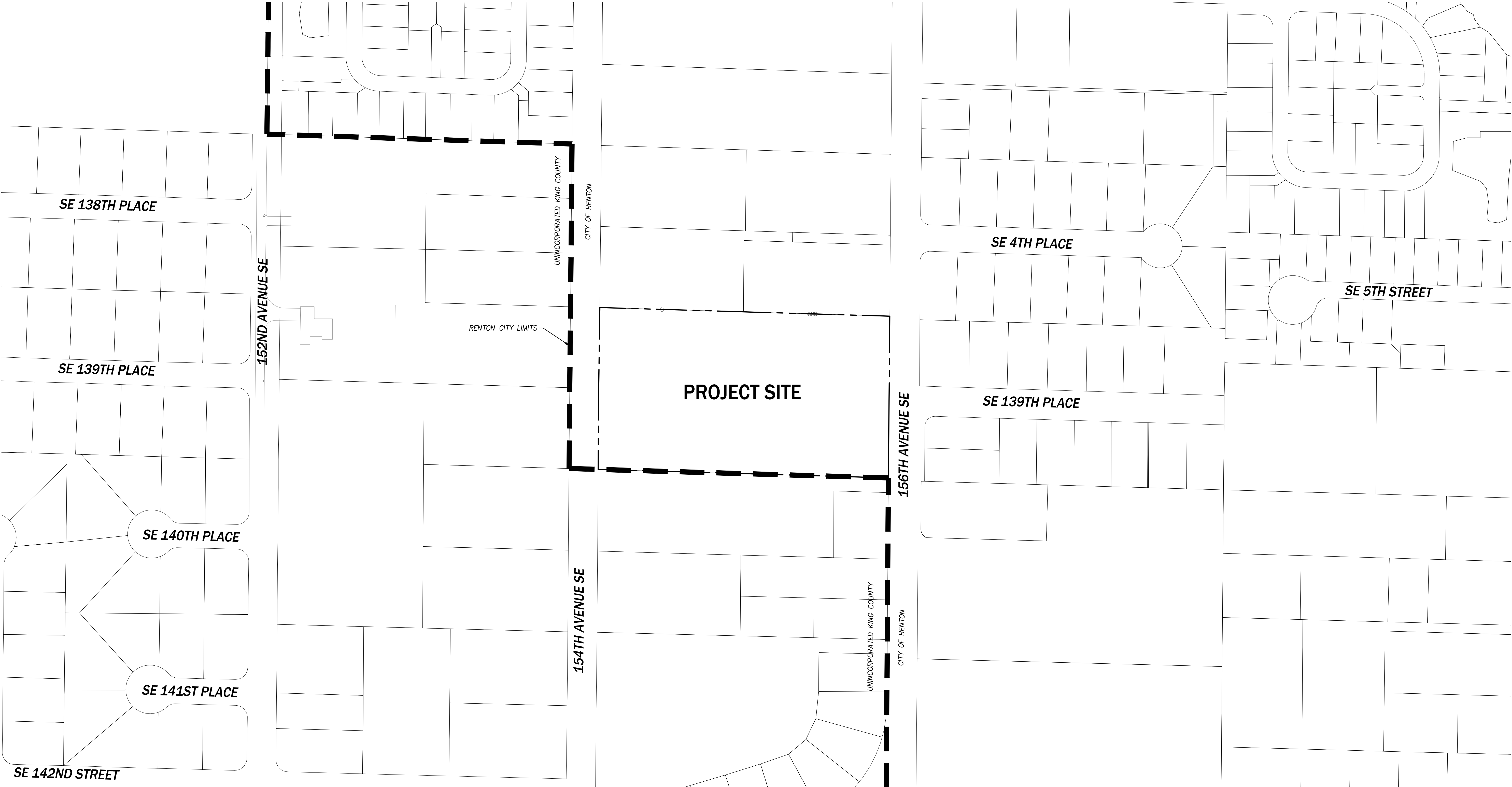
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Site Planning • Civil Engineering
Land Use Consulting • Project Management
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Redmond, WA 98052
Phone: (425) 285-2390 | FAX: (425) 285-2389
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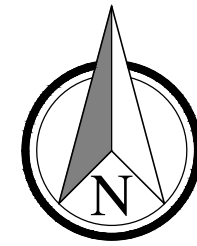
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MEADOWVUE

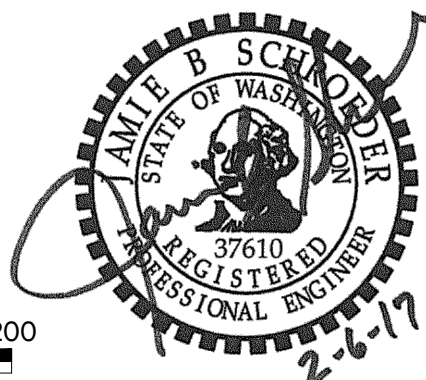
CITY OF RENTON KING COUNTY, WASHINGTON



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PLAN IN FEET

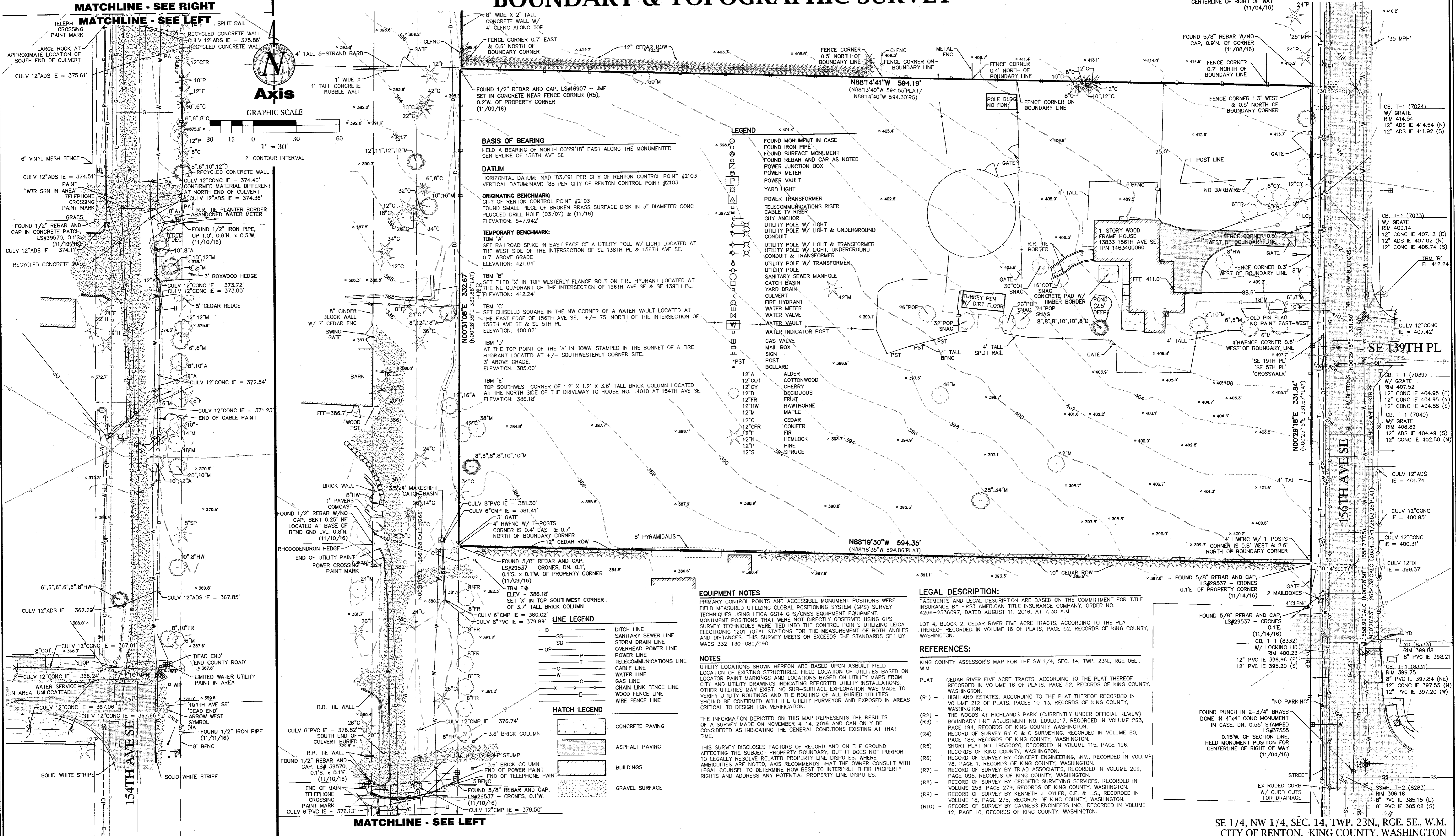


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NEIGHBORHOOD DETAIL MAP		
OWNER/ APPLICANT	SSHJ, LLC dba D.R. HORTON 12910 TOTEM LAKE BLVD. NE, SUITE 220 KIRKLAND, WA 98034 PHONE: (425) 825-3186	
PROJECT SURVEYOR	AXIS SURVEY & MAPPING MITCH T.S. EVANS, PLS 15241 NE 90TH STREET REDMOND, WA 98052 PHONE: (425) 823-5700 FAX: (425) 823-6700	
SCALE	PROJECT NO.	SHEET
AS NOTED	0035-15-012	P2.00 3 OF 10

BOUNDARY & TOPOGRAPHIC SURVEY



REV#	DESCRIPTION OF REVISION	DATE	BY
#1			
#2			
#3			
#4			
#5			
#6			
#7			



SURVEY
FOR
MEADOWVUE PROPERTY

EXHIBIT 4

DR HORTON
12910 TOTEM LAKE BLVD NE, SUITE 250
KIRKLAND, WA



www.axismap.com	
JOB NO.	DATE
16-223	12/01/16
DRAWN BY	CHECKED BY
DMB/TJO	MTSE
SCALE	SHEET
1" = 30'	1 OF 1

NE 1/4, SW 1/4, SEC14, T23N., R5E., W.M.
KING COUNTY, WASHINGTON

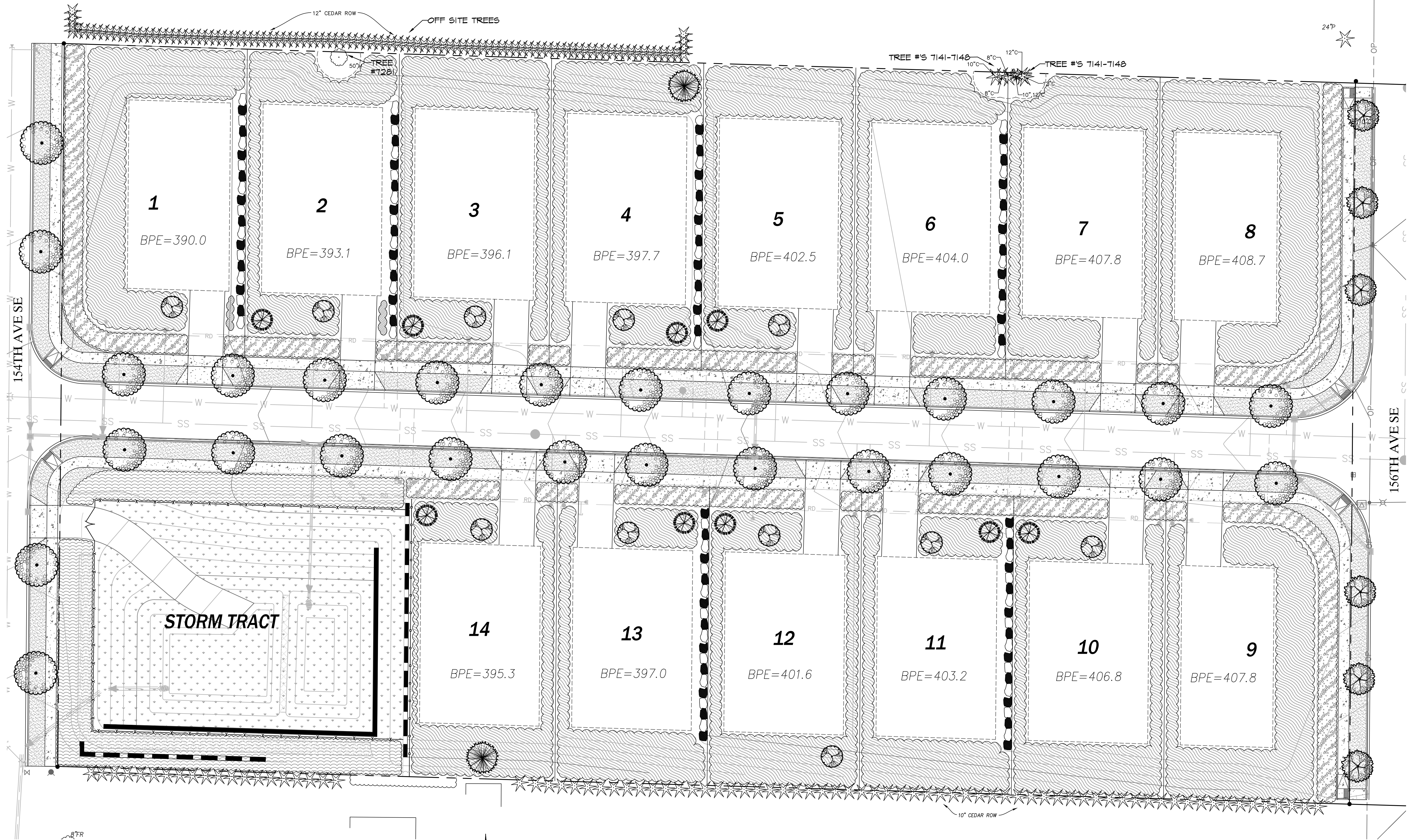


EXHIBIT 5

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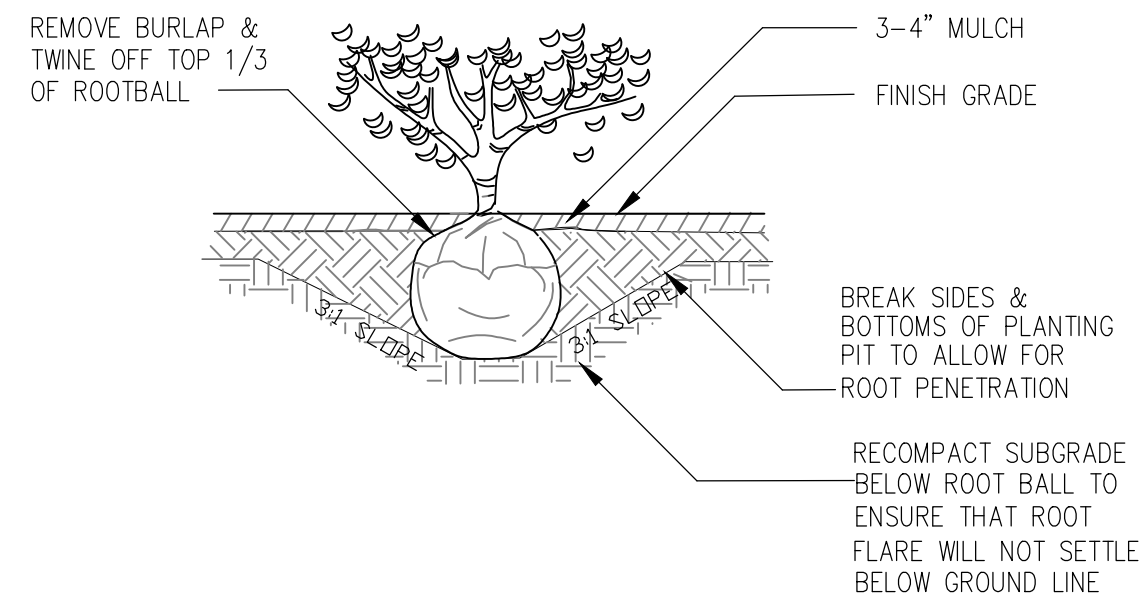
CRAMER DESIGN CONSULTANTS, INC.
LANDSCAPE ARCHITECT
1909 242ND STREET SE
BOTHELL, WA 98021
425-241-6258

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Shyle Cramer
SHYLE L. CRAMER
CERTIFICATE NO. 634

MEADOWLUE
WASHINGTON
RENTON

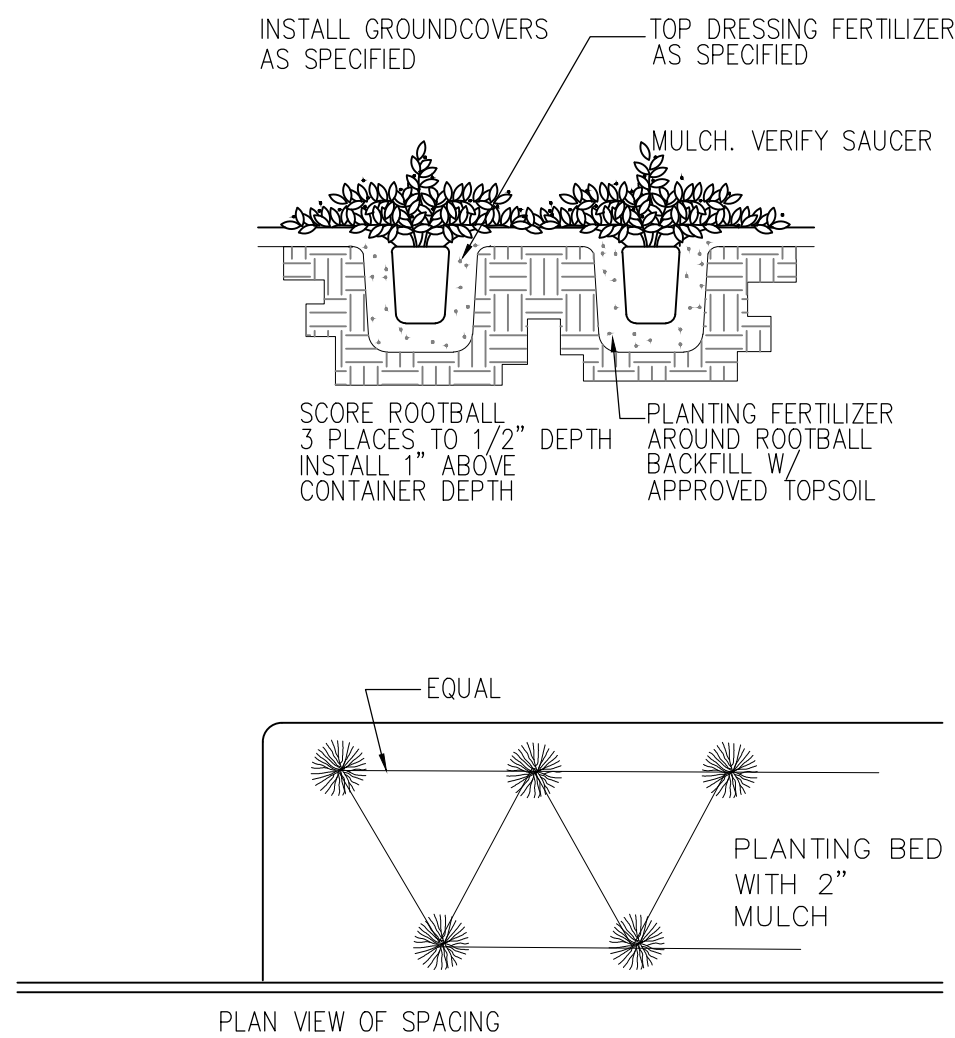
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OF 3 SHEETS

NE 1/4, SW 1/4, SEC14, T23N., R5E., W.M.
KING COUNTY, WASHINGTON



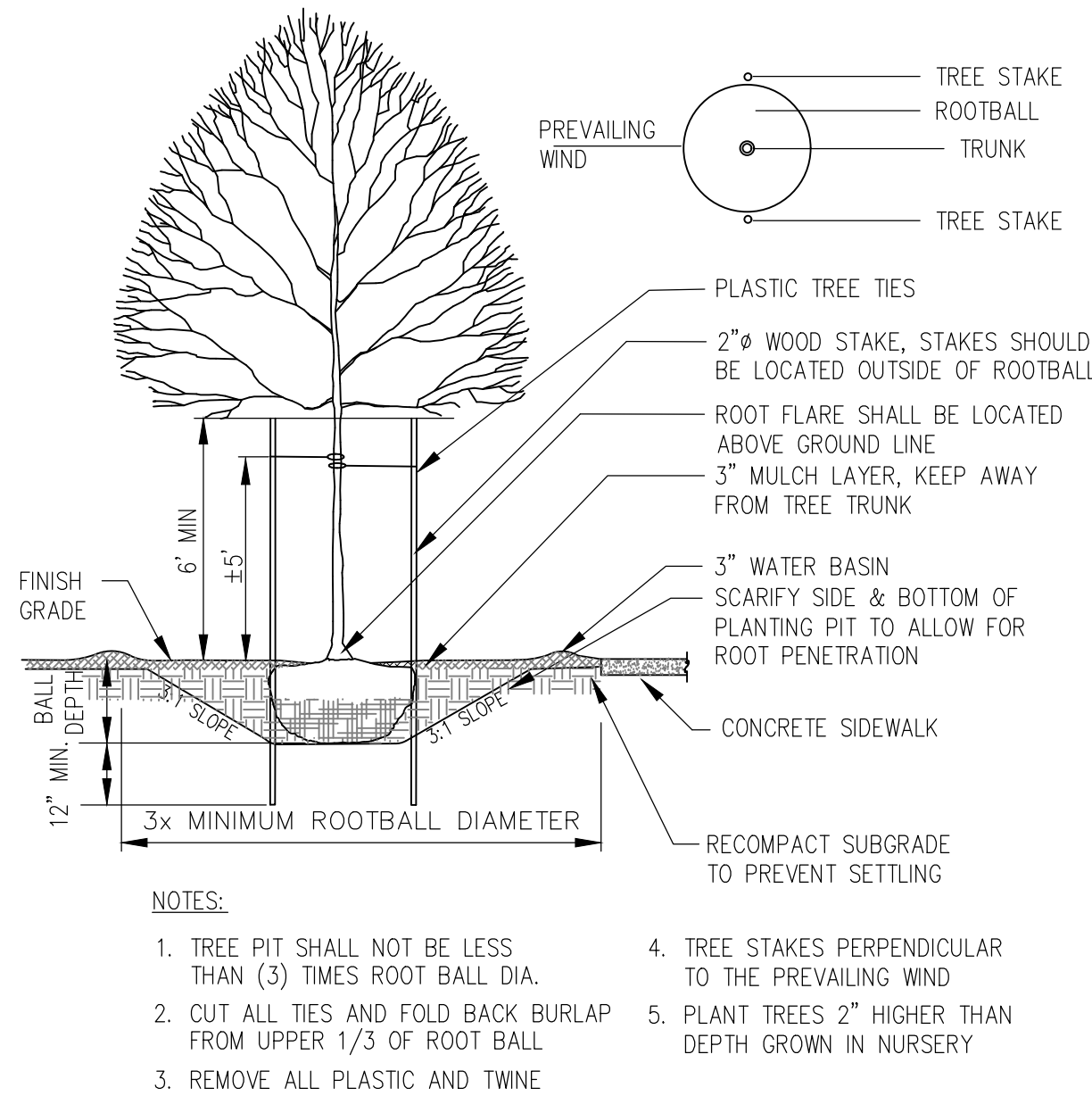
1 TYPICAL SHRUB PLANTING DETAIL

NTS



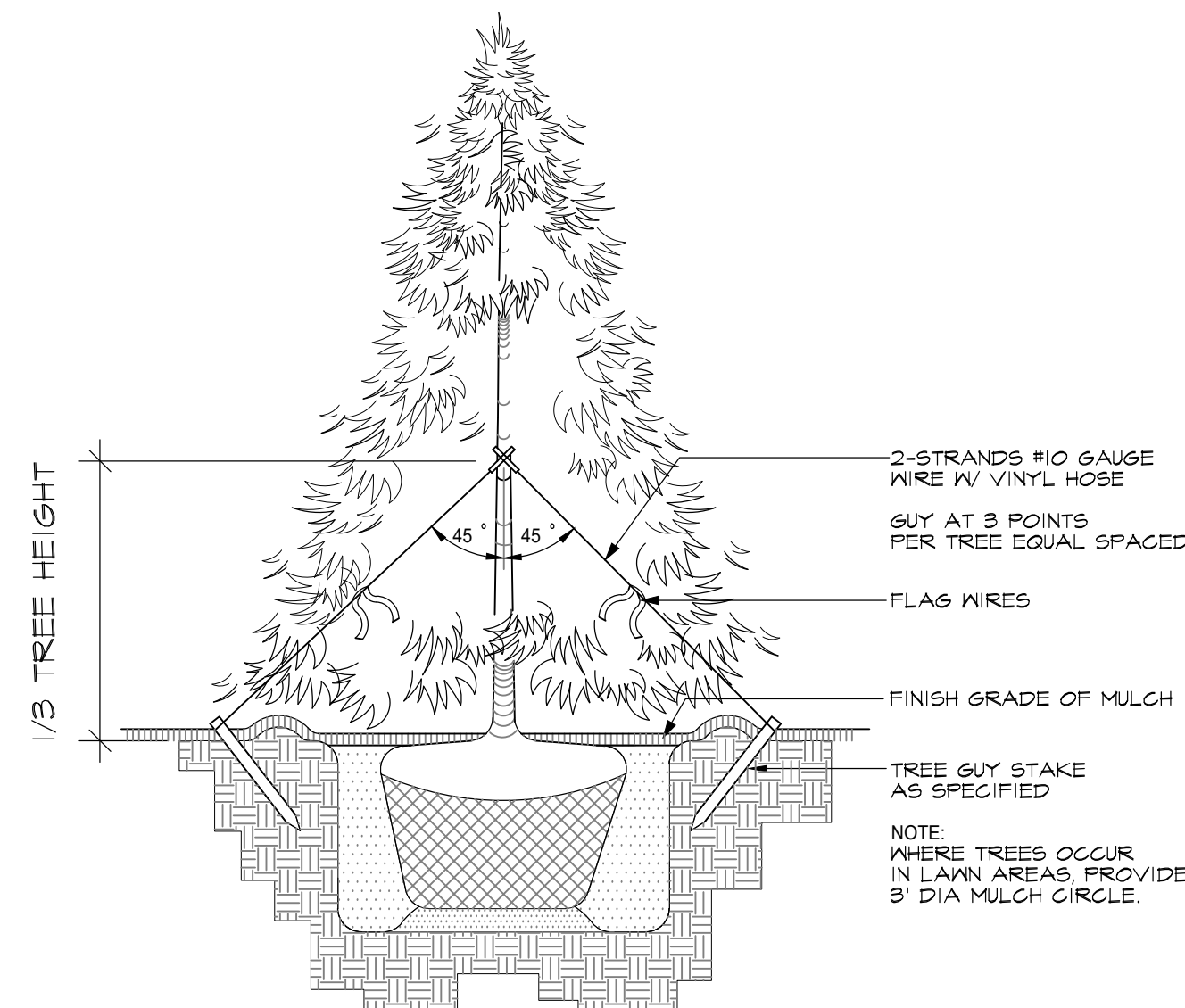
2 TYPICAL GROUNDCOVER PLANTING DETAIL

NTS



NOTES:

1. TREE PIT SHALL NOT BE LESS THAN (3) TIMES ROOT BALL DIA.
2. CUT ALL TIES AND FOLD BACK BURLAP FROM UPPER 1/3 OF ROOT BALL
3. REMOVE ALL PLASTIC AND TWINE
4. TREE STAKES PERPENDICULAR TO THE PREVAILING WIND
5. PLANT TREES 2" HIGHER THAN DEPTH GROWN IN NURSERY



4 TYPICAL EVERGREEN TREE PLANTING DETAIL

NTS

PLANT SCHEDULE

"TREE DENSITY" TREE	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Abies lasiocarpa / Alpine Fir	6' Ht. min	9
	Acer Palmatum / Japanese Maple Variety	2"Cal	11
	Thuja plicata 'Excelsa' / Western Red Cedar	6' Ht. min	2
STREET TREES	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Malus x 'Red Barron' / Red Barron Crab Apple	2"Cal	6
	Pyrus calleryana 'Aristocrat' TM / Aristocrat Flowering Pear	2"Cal	28

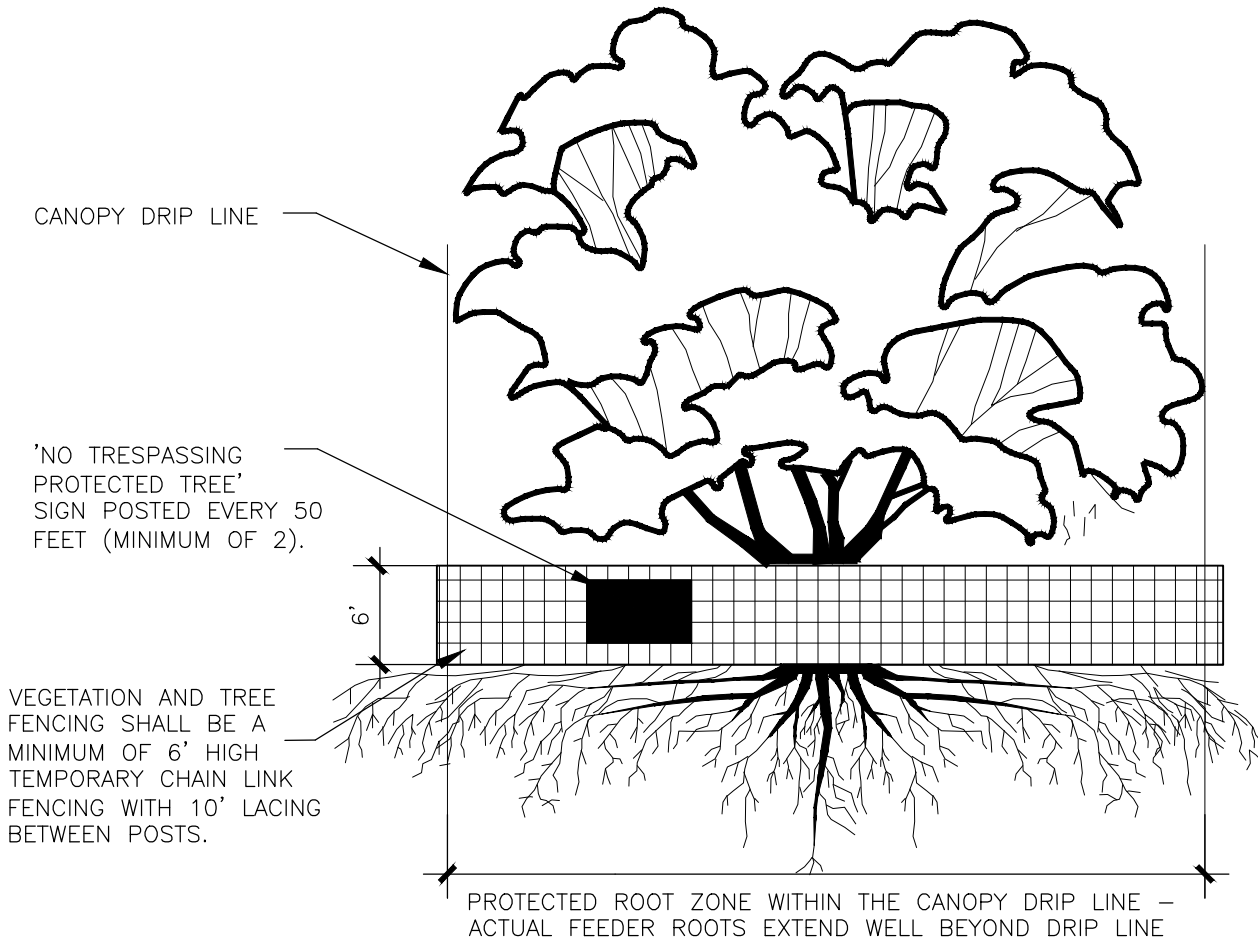
LANDSCAPING	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
	Perimeter Landscaping	N/A		5,946 sf
	Pervious Areas to be Landscaped	N/A		44,367 sf
	Street Frontage Landscaping	N/A		9,863 sf
SOD/SEED	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
	Biosnale Seed Mix 15% American sloughgrass, 20% Tufted hairgrass, 18% Blue wildrye, 20% Native red fescue, 12% Meadow barley, 15% Northwestern mannagrass	Hydroseed		13,896 sf
	Lawn	sod		11,751 sf

LANDSCAPE NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL OTHER SITE IMPROVEMENTS AND CONDITIONS PRIOR TO STARTING LANDSCAPE WORK.
2. CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY UTILITIES ENCOUNTERED. CONTRACTOR IS TO PROMPTLY ADVISE OWNER OF ANY DISTURBED UTILITIES. LOCATION SERVICE PHONE 1-800-424-5555.
3. CONTRACTOR SHALL MAINTAIN AND WATER ALL PLANT MATERIAL FOR 1 YEAR OR UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING QUANTITIES OF PLANTS THAT ARE REPRESENTED BY SYMBOLS ON THE DRAWING.
5. SUBGRADE IS TO BE WITHIN 1/8 INCH OF 1 FOOT AS PROVIDED BY OTHERS. ALL PLANTING AREAS TO BE CLEARED OF ALL CONSTRUCTION MATERIAL AND ROCKS & STICKS LARGER THAN 2 INCH DIAMETER.
6. 4 INCH DEPTH TOPSOIL IN LANDSCAPE AREA.
7. 2 INCH DEPTH, 2 FOOT DIAMETER BARK RING AROUND BASE OF STREET TREES AND OTHER TREES LOCATED IN LAWN.
8. GROUND COVERS SHALL BE PLANTED IN AN EQUILATERAL TRIANGULAR SPACING PATTERN AT THE ON-CENTER DISTANCES SHOWN ON THE PLAN OR IN THE PLANT SCHEDULE. WHERE GROUND COVER ADJUTS CURBING, SIDEWALKS, SIGNS OR POLES, MINIMUM PLANTING DISTANCES SHALL BE 12" FROM CENTER OF PLANT TO CURB, SIDEWALK, ETC. MINIMUM PLANTING DISTANCE SHALL BE 24" FROM CENTER OF TREES AND SHRUBS.
9. ALL PLANT MATERIAL SHALL BE FERTILIZED WITH AGRO TRANSPLANT FERTILIZER 4-2-2 PER MANUFACTURERS SPECIFICATIONS.
10. ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK LATEST EDITION. ALL PLANT MATERIAL FURNISHED SHALL BE HEALTHY REPRESENTATIVES, TYPICAL OF THEIR SPECIES OF VARIETY AND SHALL HAVE A NORMAL GROWTH HABIT. THEY SHALL BE FULL, WELL BRANCHED, WELL PROPORTIONED, AND HAVE A VIGOROUS WELL DEVELOPED ROOT SYSTEM. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. TREES, SHRUBS AND GROUND COVER QUANTITIES, SPECIES, VARIETIES, SIZES AND CONDITIONS TO BE AS SHOWN ON THE PLANTING PLAN. PLANTS TO BE FREE OF DISEASE, INJURY, INSECTS, DECAY, HARMFUL DEFECTS AND ALL WEEDS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER.
11. NO PERMANENT IRRIGATION SYSTEM IS PROPOSED. TEMPORARY IRRIGATION SHALL BE REQUIRED FOR THE FIRST 3 YEARS OR UNTIL PROPOSED PLANT MATERIAL IS ESTABLISHED. PLANT MATERIAL SPECIFIED TO BE NATIVE OR DROUGHT TOLERANT AS DETERMINED BY LANDSCAPE ARCHITECT.
12. THE AVERAGE SPACING FOR STREET TREES SHOULD BE 40 FEET ON CENTER AND ADJUSTED TO ALLOW FOR SIGHT LINES, UTILITIES, TRAFFIC SIGNS, LIGHT STANDARDS, DRIVEWAYS AND OTHER STREET APPURTENANCES.
13. TREES IN THE RIGHT OF WAY MUST BE PLANTED TO THE FOLLOWING STANDARDS: PLANT TREES IN THE CENTER OF THE PLANTING STRIP WIDTH, 6 FEET FROM FIRE HYDRANTS AND UNDERGROUND UTILITIES (ie> WATER, SEWER, ELECTRIC, GAS), 10 FEET FROM UTILITY POLES, DRIVEWAYS, AND ALLEY MARGIN, 25 FEET FROM STREET LIGHTS, 40 FEET FROM THE CORNER OF INTERSECTIONS, STOP SIGNS, AND YIELD SIGNS. AT LEAST 72 HOURS BEFORE YOU PLAN TO DIG, YOU MUST CALL 811 TO REQUEST THAT THE LAST LOCATION OF ANY UNDERGROUND OR OVERHEAD UTILITIES (GAS, WATER, ELECTRIC, ETC.) BE MARKED ON YOUR PLANTING AREA. KNOWING THESE LOCATIONS IN ADVANCE MAY SAVE YOU TIME AND MONEY BY PREVENTING AN ACCIDENT.

5 RENTON TREE PRESERVATION DETAIL

NTS



PROTECTION MEASURES DURING CONSTRUCTION:

1. CONSTRUCTION STORAGE PROHIBITED: DO NOT FILL, EXCAVATE, STACK OR STORE ANY EQUIPMENT, DISPOSE OF ANY MATERIALS, SUPPLIES OR FLUIDS, OPERATE ANY EQUIPMENT, INSTALL IMPERVIOUS SURFACES, OR COMPACT THE EARTH IN ANY WAY WITHIN THE AREA DEFINED BY THE DRIP LINE OF ANY TREE TO BE RETAINED.
2. FENCED PROTECTION AREA REQUIRED PRIOR TO DEVELOPMENT ACTIVITIES. A 6' HIGH CHAIN LINK TEMPORARY CONSTRUCTION FENCING AROUND THE DRIP LINES OF ALL RETAINED TREES OR AT A DISTANCE SURROUNDING THE TREE EQUAL TO ONE AND ONE-QUARTER FEET FOR EVERY ONE INCH OF TRUNK CALIPER, WHICHEVER IS GREATER, OR ALONG THE PERIMETER OF A TREE PROTECTION TRACT. PLACE CARDS SHALL BE PLACED ON FENCING IF LESS THAN 50' INDICATING THE WORDS, "NO TRESPASSING-PROTECTED TREES" OR ON EACH SIDE OF THE FENCING IS LESS THAN 50'. SITE ACCESS TO INDIVIDUALLY PROTECTED TREES OR GROUPS OF TREES SHALL BE FENCED AND SIGNED. INDIVIDUAL TREES SHALL BE FENCED ON 4 SIDES.
3. PROTECTION FROM GRADE CHANGES: IF THE GRADE LEVEL ADJOINING TO A TREE TO BE RETAINED IS TO BE RAISED, A DRY ROCK WALL OR ROCK WELL SHALL BE CONSTRUCTED AROUND THE TREE. THE DIAMETER OF THIS WALL OR WELL MUST BE EQUAL TO THE TREE'S DRIP LINE.
4. MULCH LAYER REQUIRED: ALL AREAS WITHIN THE REQUIRED FENCING SHALL BE COVERED COMPLETELY AND EVENLY WITH A MINIMUM OF 3" OF BARK MULCH PRIOR TO INSTALLATION OF THE PROTECTIVE FENCING.

CRAYER DESIGN CONSULTANTS, INC.
LANDSCAPE ARCHITECT
1909 242ND STREET SE
BOTHELL, WA 98021
425-241-6258

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Kyle L. Crayer
CERTIFICATE NO. 634

MEADOWVIEW

WASHINGTON
RENTON

SHEET

L-03

OF 3 SHEETS

Drawn: ELK

Created: 02/06/17

SEC. 14, TWP 23 N, R5E W.M.

MEADOWVUE

CITY OF RENTON KING COUNTY, WASHINGTON

- LEGEND**
- TOP 586.1
TOE 576.0 TOP/TOE ELEVATION AND HEIGHT
 - MSE RETAINING WALL
 - CAST-IN-PLACE CONCRETE WALL
 - ROCKERY
 - LIMITS OF DISTURBANCE
 - SD STORM DRAIN PIPE
 - SD CATCH BASIN
 - BLDG. SD SERVICE CONN.
 - ASPHALT PAVEMENT
 - CONCRETE SIDEWALK
 - PROPOSED CONTOUR
 - TREE PROTECTION AREA

APPROX. EARTHWORK QUANTITIES

EARTHWORK QUANTITIES WERE ESTIMATED USING A GRID VOLUME METHOD AND AUTODESK AUTOCAD CIVIL3D SOFTWARE. THE FOLLOWING VALUES ARE APPROXIMATE AND PROVIDED TO ILLUSTRATE GENERAL EARTHWORK EFFORTS BASED ON AVAILABLE SURVEY AND DESIGN DATA EXCLUDING ESTIMATES OF ANY FOUNDATION AND PAVEMENT QUANTITIES.

FILL: 12,000 CY
CUT: 10,000 CY
NET: 2,000 CY (FILL)

THESE VALUES ARE NOT FOR CONSTRUCTION BID PURPOSES. THE CONTRACTOR SHALL USE THEIR OWN MEANS AND METHODS TO ESTIMATE EARTHWORK QUANTITIES.

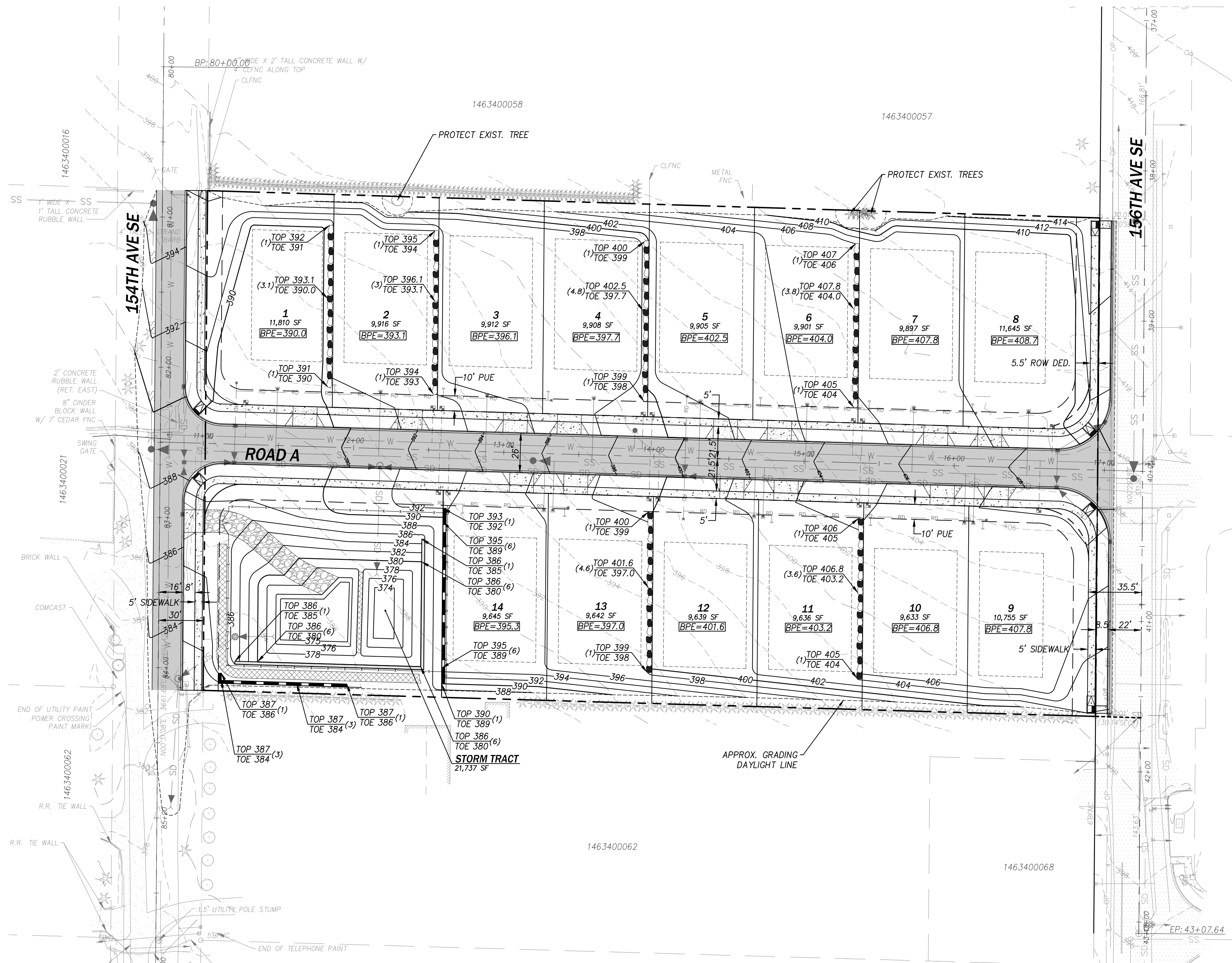
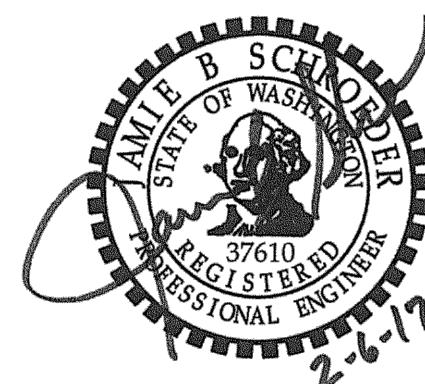
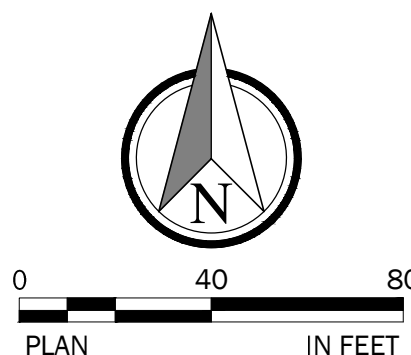


EXHIBIT 6



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PRELIMINARY GRADING PLAN

OWNER/APPLICANT: SSHJ, LLC dba D.R. HORTON
12910 TOTEM LAKE BLVD. NE, SUITE 220
KIRKLAND, WA 98034
PHONE: (425) 825-3186

PROJECT SURVEYOR: AXIS SURVEY & MAPPING
MITCH T.S. EVANS, PLS
15241 NE 90TH STREET REDMOND, WA 98052
PHONE: (425) 823-5700 FAX: (425) 823-6700

SCALE: AS NOTED PROJECT NO.: 0035-15-012 SHEET: P3.00 OF 10

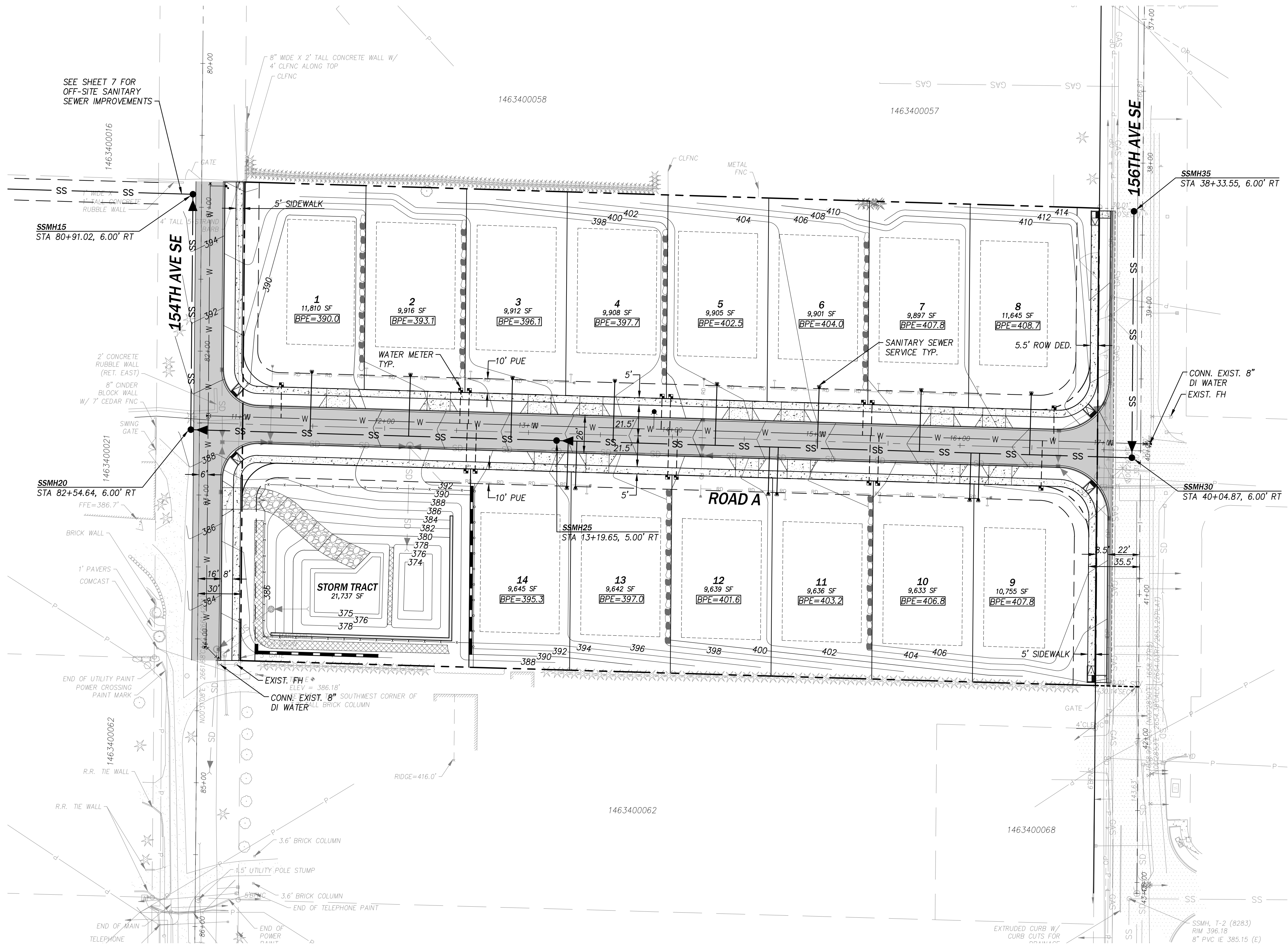
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MEADOWVUE

CITY OF RENTON KING COUNTY, WASHINGTON

LEGEND

- TYPE 1 STORM DRAINAGE CATCH BASIN
- TYPE 2 STORM DRAINAGE CATCH BASIN
- TYPE 2 CATCH BASIN W/ BIRDCAGE LID
- SD STORM DRAINAGE PIPE
- SS SANITARY SEWER MAIN
- STANDARD PRECAST SEWER MANHOLE
- SIDE SEWER SERVICE W/CLEANOUT
- W WATER MAIN
- WATER SERVICE (PIPE)
- FIRE HYDRANT (FH)
- GATE VALVE
- WATER METER
- BEARING PAD ELEVATIONS

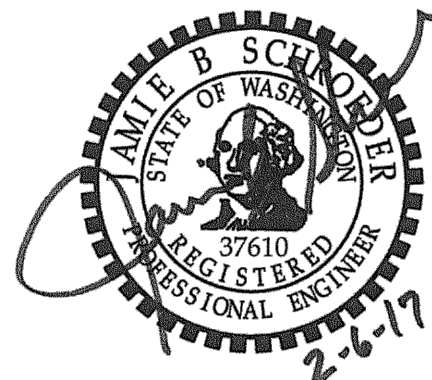
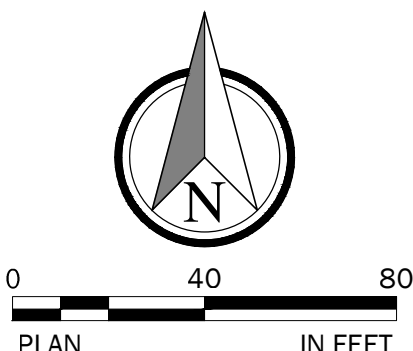


PRELIMINARY UTILITY PLAN

OWNER/
APPLICANT SSI, LLC dba D.R. HORTON
12910 TOTEM LAKE BLVD. NE, SUITE 220
KIRKLAND, WA 98034
PHONE: (425) 825-3186

PROJECT SURVEYOR AXIS SURVEY & MAPPING
MITCH T.S. EVANS, PLS
15241 NE 90TH STREET REDMOND, WA 98052
PHONE: (425) 823-5700 FAX: (425) 823-6700

SCALE AS NOTED PROJECT NO. 0035-15-012 SHEET P5.00
6 OF 10



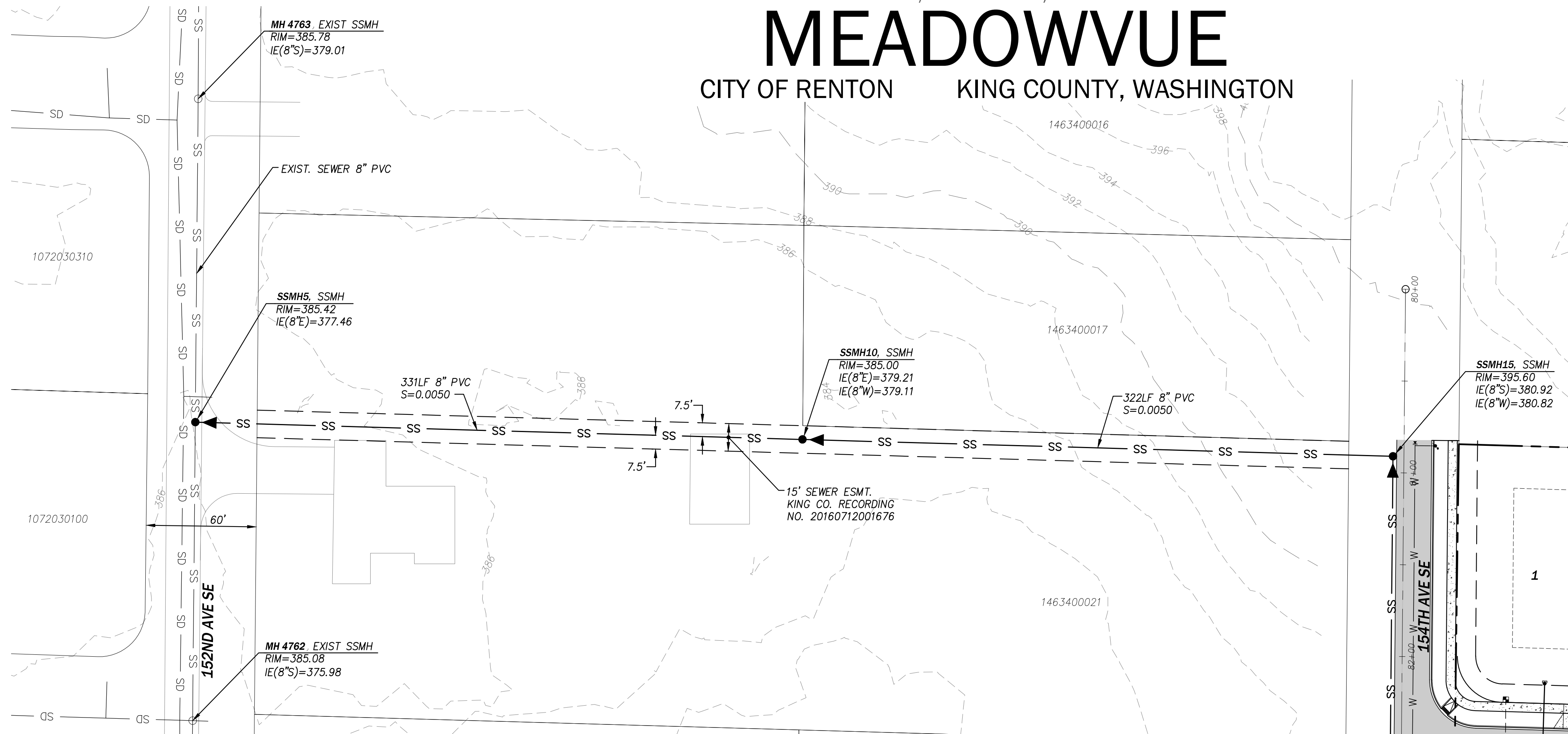
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Land Use Consulting • Project Management
11431 Willocks Rd. NE, Suite 120
Redmond, WA 98052
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1	02/06/17	PRELIMINARY PLAT SUBMITTAL	CMT	JBS

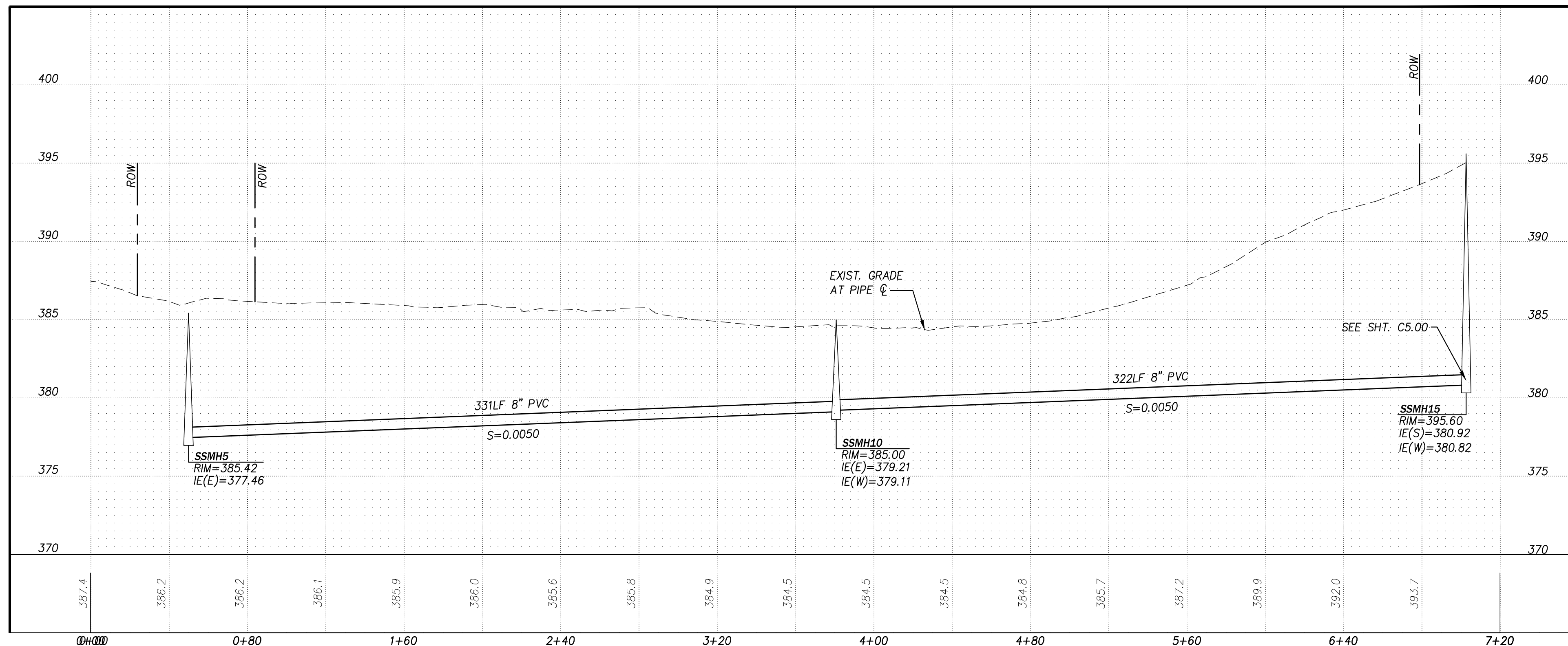
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MEADOWVUE

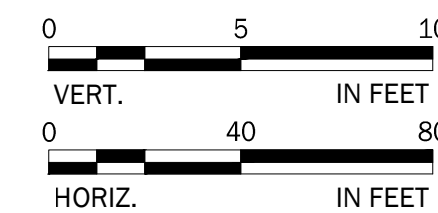
CITY OF RENTON KING COUNTY, WASHINGTON



LEGEND	
SS	SANITARY SEWER MAIN
●	STANDARD PRECAST SEWER MANHOLE
—●—	SIDE SEWER SERVICE W/CLEANOUT
W	WATER MAIN

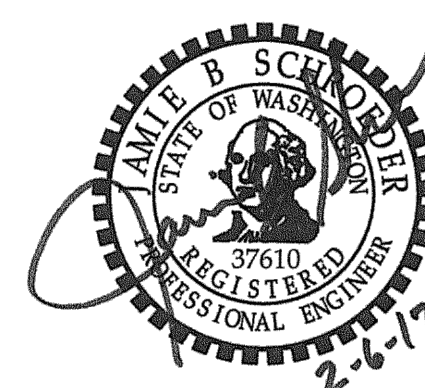


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2. PROPERTY BOUNDARY INFORMATION REPRESENTED ON THIS BASE MAP WAS PREPARED BY CPH CONSULTANTS, LLC FROM AVAILABLE PUBLIC GIS SOURCES AND DOES NOT REPRESENT A BOUNDARY SURVEY BY CPH CONSULTANTS, LLC. IT IS INTENDED FOR PRELIMINARY SITE PLANNING AND CONCEPTUAL DESIGN PURPOSES ONLY.
3. THE AERIAL IMAGERY SHOWN ON THIS PLAN WAS OBTAINED FROM AVAILABLE PUBLISHED ONLINE SOURCES BY GOOGLE, INC. CURRENT SITE CONDITIONS MAY DIFFER FROM THOSE SHOWN BASED ON THE PRODUCTION DATE OF THE IMAGERY.
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PRELIMINARY OFF-SITE UTILITY PLAN AND PROFILE

OWNER/APPLICANT	SSHI, LLC dba D.R. HORTON 12910 TOTEM LAKE BLVD. NE, SUITE 220 KIRKLAND, WA 98034 PHONE: (425) 825-3186		
PROJECT SURVEYOR	AXIS SURVEY & MAPPING MITCH T.S. EVANS, PLS 15241 NE 90TH STREET REDMOND, WA 98052 PHONE: (425) 823-5700 FAX: (425) 823-6700		
SCALE	AS NOTED	PROJECT NO.	0035-15-012
		SHEET	P5.01
			7 OF 10



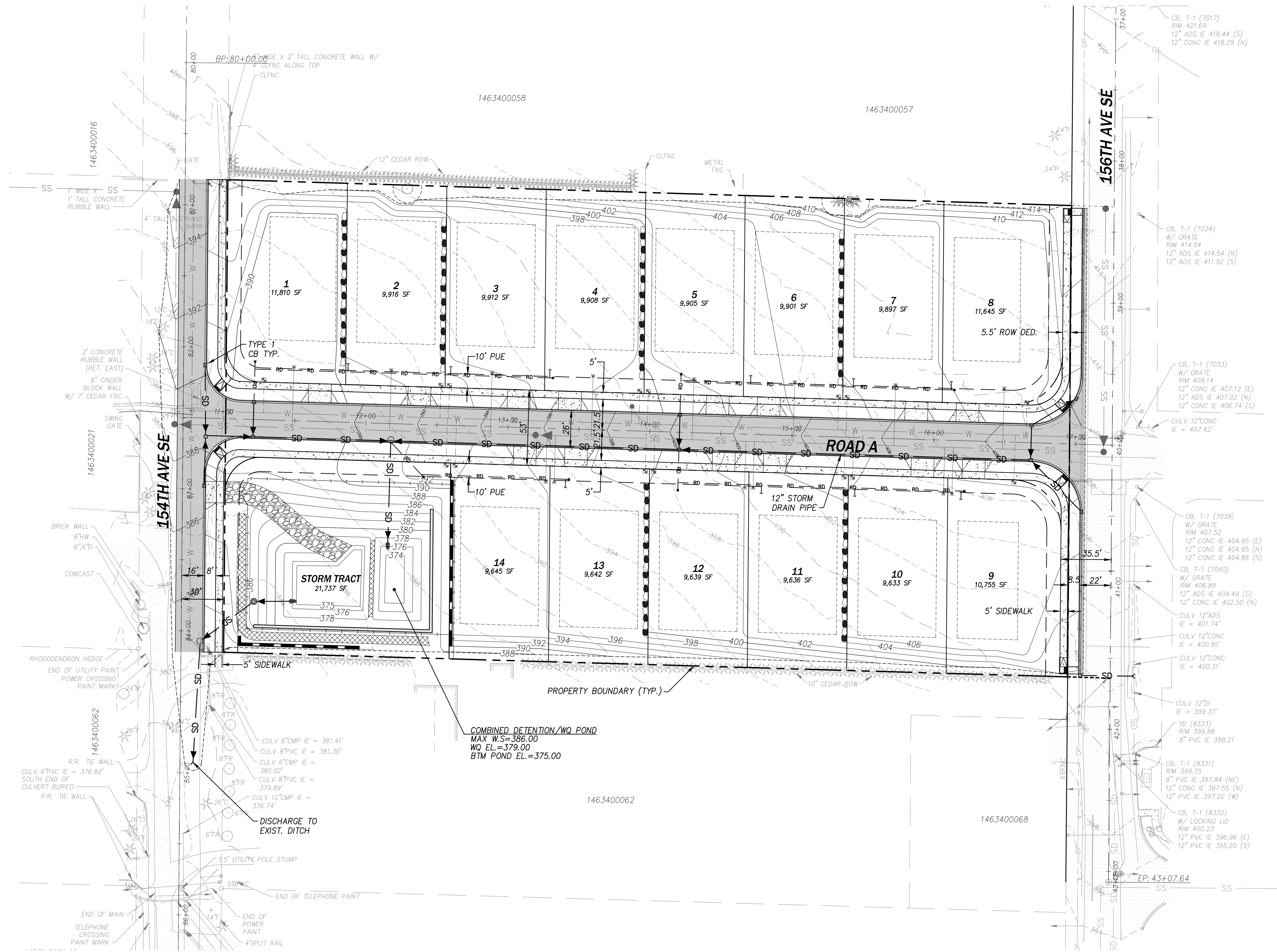
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NO.	DATE	REVISION	BY	CK.
1	02/06/17	PRELIMINARY PLAT SUBMITTAL	CMT	JBS

SEC. 14, TWP 23 N, R5E W.M.

MEADOWVUE

CITY OF RENTON KING COUNTY, WASHINGTON



LEGEND

- TYPE 1 STORM DRAINAGE CATCH BASIN
- TYPE 2 STORM DRAINAGE CATCH BASIN
- STORM DRAINAGE PIPE
- SS SANITARY SEWER MAIN
- STANDARD PRECAST SEWER MANHOLE
- SIDE SEWER SERVICE W/CLEANOUT
- W WATER MAIN
- WATER SERVICE (PIPE)
- FIRE HYDRANT (FH)
- GATE VALVE
- WATER METER
- RD ROOF DRAIN PIPE

NOTES:

- PERFORATED PIPE CONNECTIONS ARE REQUIRED FOR ANY PIPE CONNECTION OF ROOF DOWNSPOUTS TO THE LOCAL DRAINAGE SYSTEM PER SECTION C.2.11 OF THE COR SURFACE WATER DESIGN MANUAL.
- A MINIMUM SOIL QUALITY AND DEPTH SHALL BE ESTABLISHED PER SECTION C.2.13 OF THE COR SURFACE WATER DESIGN MANUAL.

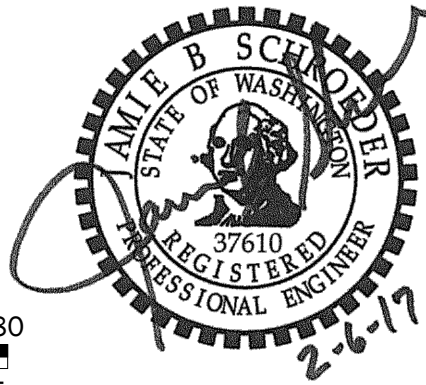
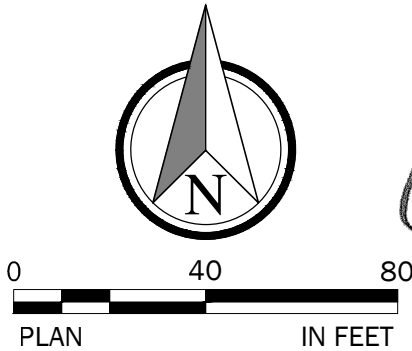
INDIVIDUAL LOT BMP'S				
LOT	AREA (SF)	50% IMPERVIOUS PER COR ZONING (SF)	40% IMPERVIOUS PER DESIGN (SF)	BMP TYPE
1	11810	5905	4724	REDUCED IMP. SURFACE
2	9916	4958	3966	REDUCED IMP. SURFACE
3	9912	4956	3965	REDUCED IMP. SURFACE
4	9908	4954	3963	REDUCED IMP. SURFACE
5	9905	4953	3962	REDUCED IMP. SURFACE
6	9901	4951	3960	REDUCED IMP. SURFACE
7	9897	4949	3959	REDUCED IMP. SURFACE
8	11645	5823	4658	REDUCED IMP. SURFACE
9	10755	5378	4302	REDUCED IMP. SURFACE
10	9633	4817	3853	REDUCED IMP. SURFACE
11	9636	4818	3854	REDUCED IMP. SURFACE
12	9639	4820	3856	REDUCED IMP. SURFACE
13	9642	4821	3857	REDUCED IMP. SURFACE
14	9645	4823	3858	REDUCED IMP. SURFACE

DRAINAGE CONTROL PLAN

OWNER/ APPLICANT SSI, LLC dba D.R. HORTON
12910 TOTEM LAKE BLVD. NE, SUITE 220
KIRKLAND, WA 98034
PHONE: (425) 825-3186

PROJECT SURVEYOR AXIS SURVEY & MAPPING
MITCH T.S. EVANS, PLS
15241 NE 90TH STREET REDMOND, WA 98052
PHONE: (425) 823-5700 FAX: (425) 823-6700

SCALE AS NOTED PROJECT NO. 0035-15-012 SHEET P4.00
5 OF 10



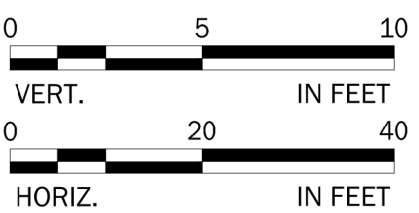
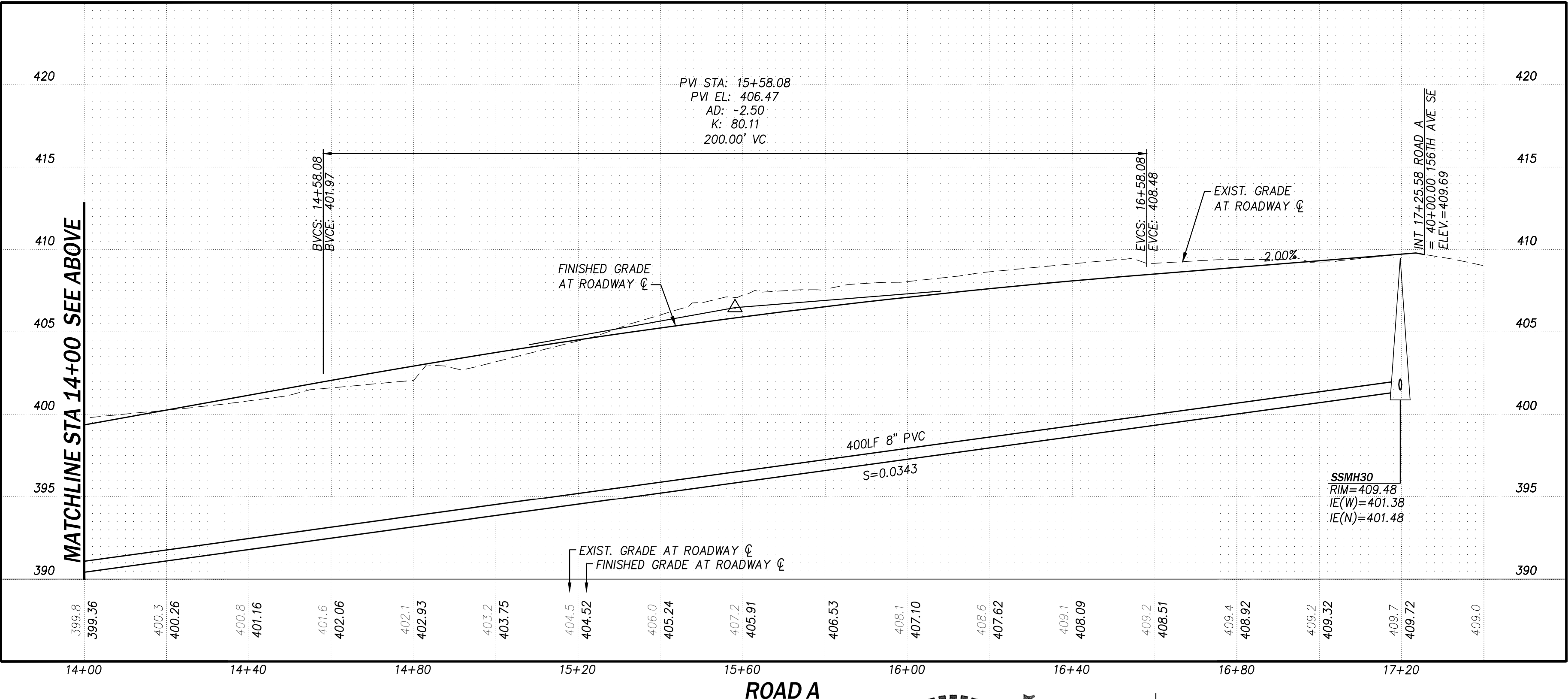
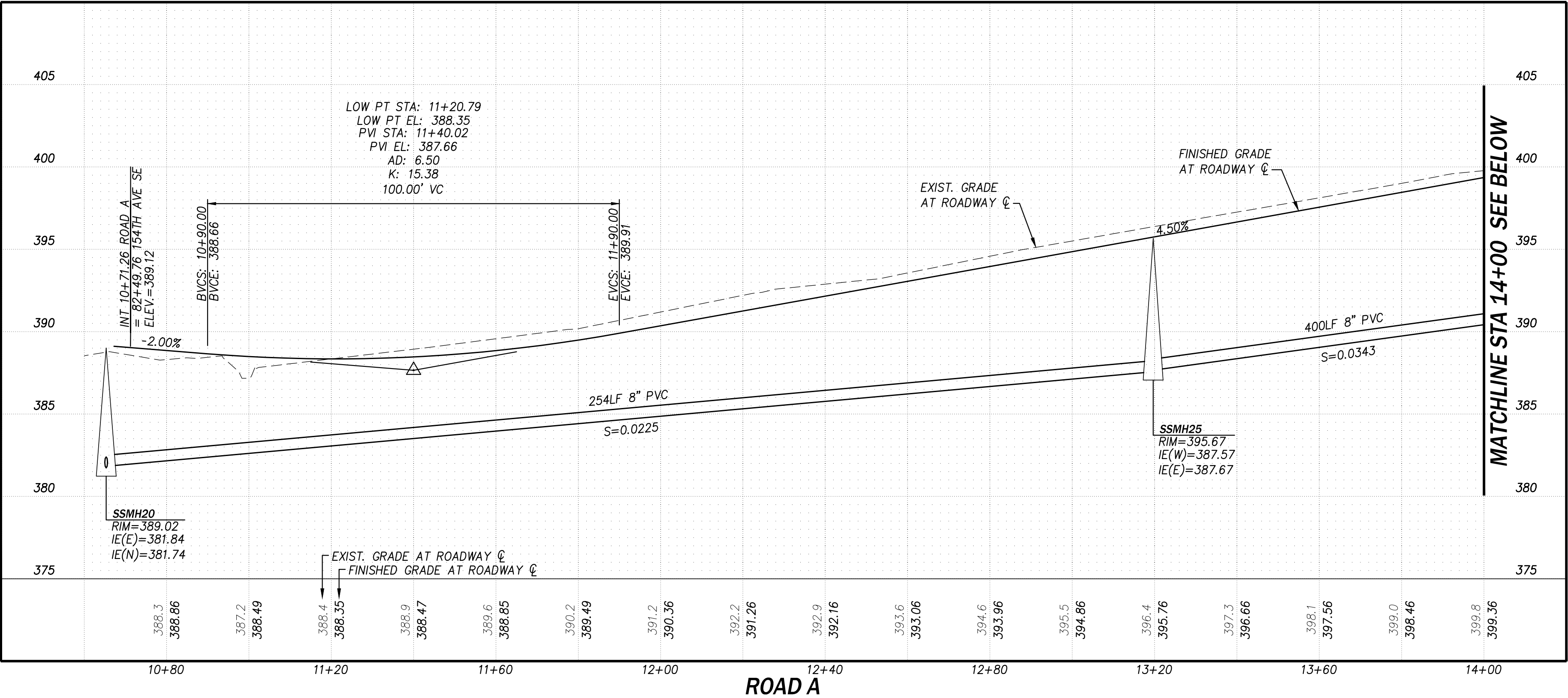
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1	02/06/17	PRELIMINARY PLAT SUBMITTAL	CMT	JBS

SEC. 14, TWP 23 N, R5E W.M.

MEADOWVUE

CITY OF RENTON KING COUNTY, WASHINGTON



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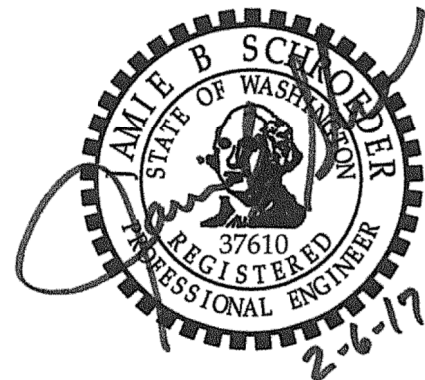
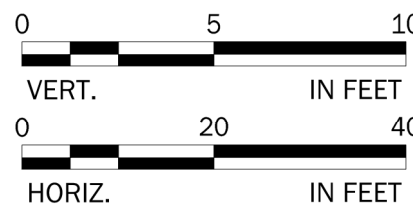
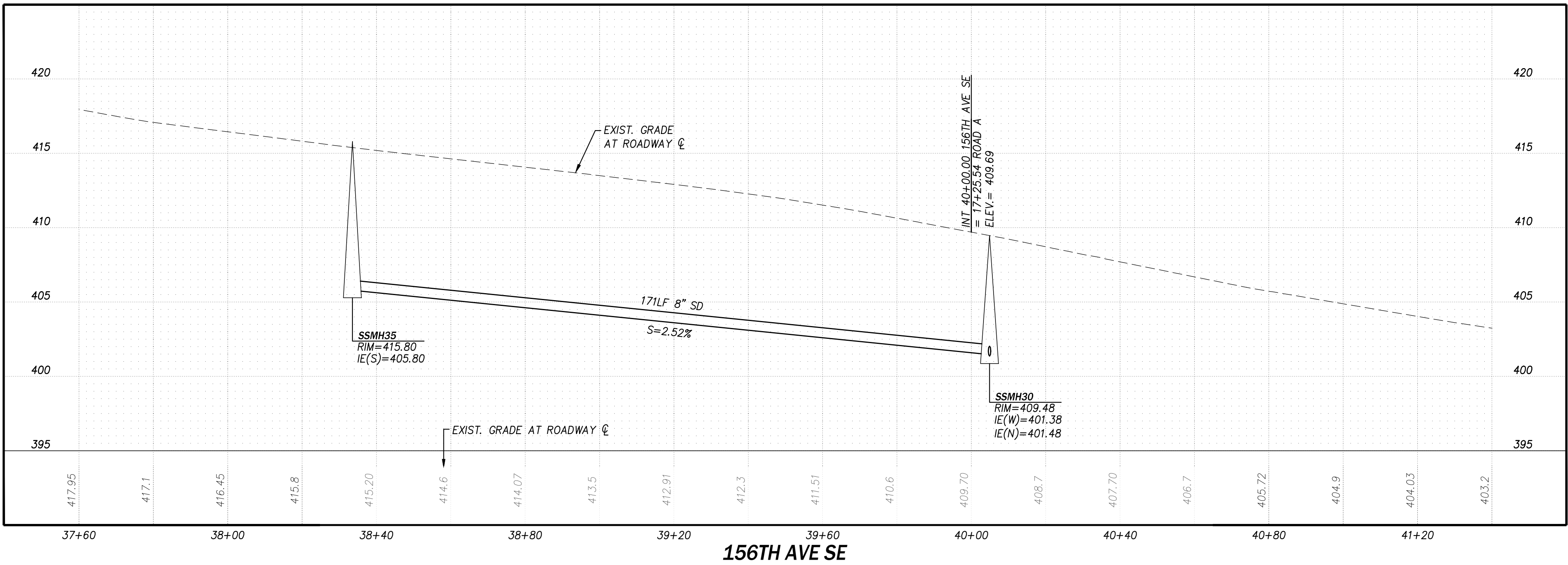
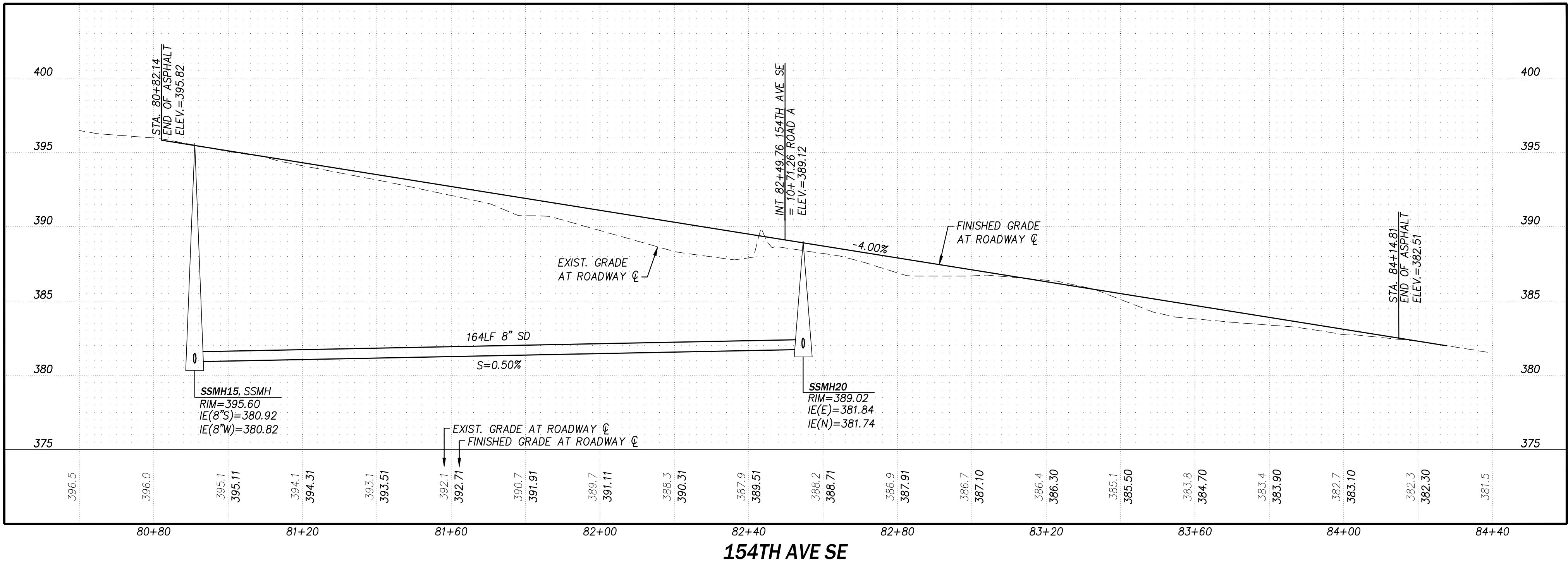
NO.	DATE	REVISION	BY	CK.
1	02/06/17	PRELIMINARY PLAT SUBMITTAL	CMT	JBS

PRELIMINARY ROAD PROFILES		
OWNER/ APPLICANT	SSHJ, LLC dba D.R. HORTON 12910 TOTEM LAKE BLVD. NE, SUITE 220 KIRKLAND, WA 98034 PHONE: (425) 825-3186	
PROJECT SURVEYOR	AXIS SURVEY & MAPPING MITCH T.S. EVANS, PLS 15241 NE 90TH STREET REDMOND, WA 98052 PHONE: (425) 823-5700 FAX: (425) 823-6700	
SCALE	PROJECT NO.	SHEET
AS NOTED	0035-15-012	P7.00 9 OF 10

SEC. 14, TWP 23 N, R5E W.M.

MEADOWVUE

CITY OF RENTON KING COUNTY, WASHINGTON



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1	02/06/17	PRELIMINARY PLAT SUBMITTAL	CMT	JBS

PRELIMINARY ROAD PROFILES

OWNERS/
APPLICANT
SSHI, LLC dba D.R. HORTON
12910 TOTEM LAKE BLVD. NE, SUITE 220
KIRKLAND, WA 98034
PHONE: (425) 825-3186

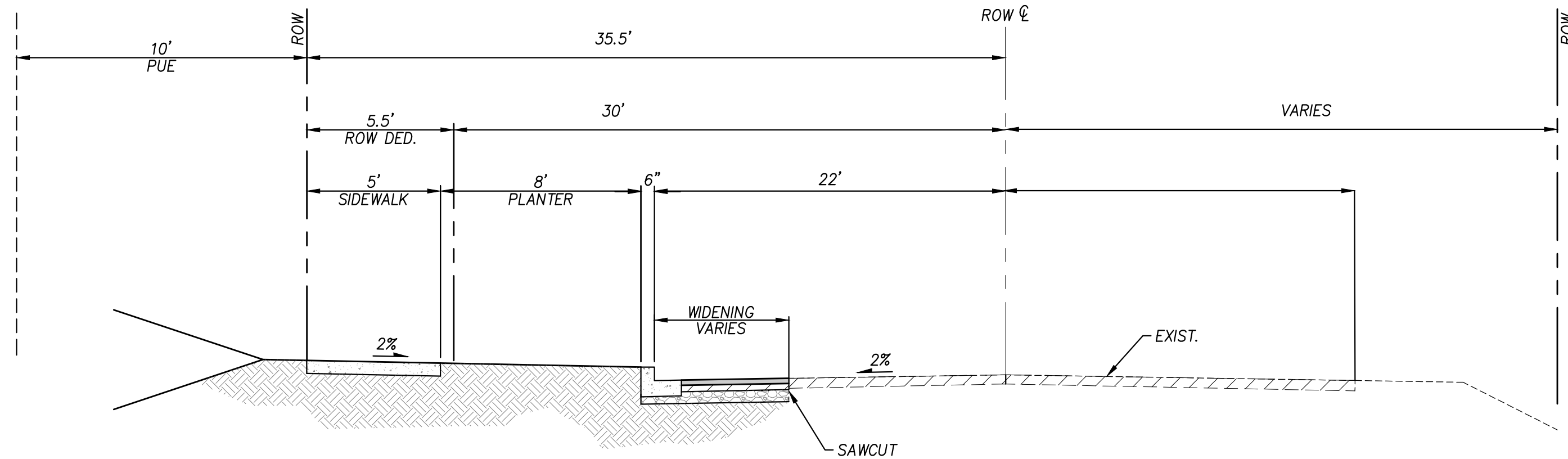
PROJECT SURVEYOR
AXIS SURVEY & MAPPING
MITCH T.S. EVANS, PLS
15241 NE 90TH STREET REDMOND, WA 98052
PHONE: (425) 823-5700 FAX: (425) 823-6700

SCALE	PROJECT NO.	SHEET
AS NOTED	0035-15-012	P7.01
		10 OF 10

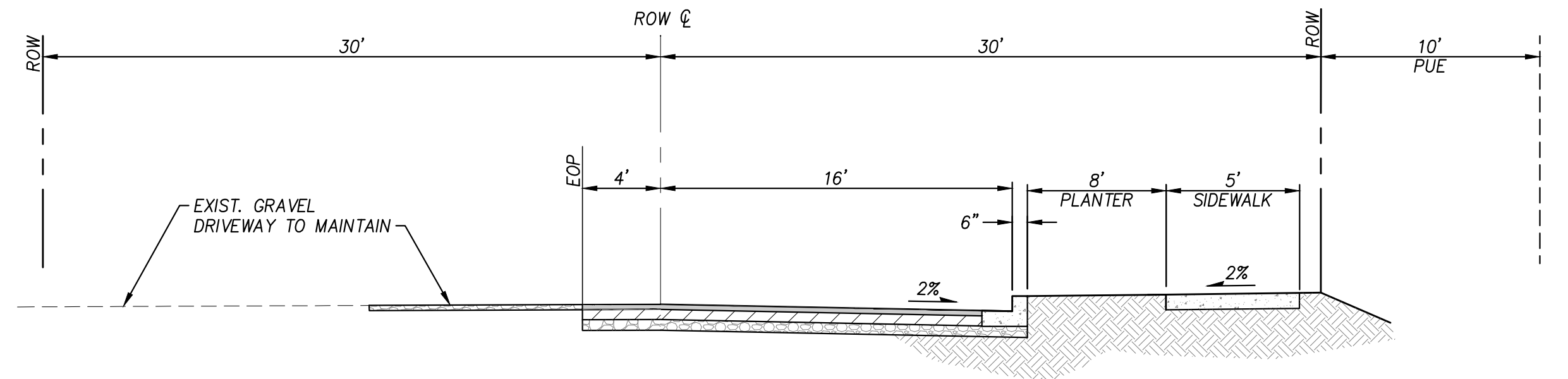
SEC. 14, TWP 23 N, R5E W.M.

MEADOWVUE

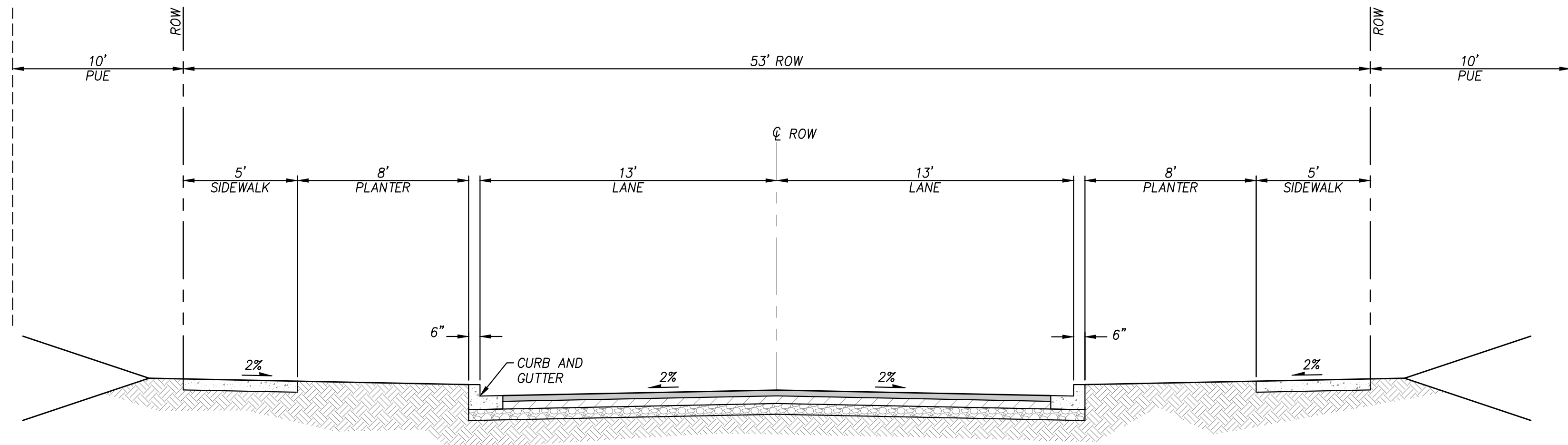
CITY OF RENTON KING COUNTY, WASHINGTON



156TH AVENUE SE (MINOR ARTERIAL)
NOT TO SCALE



154TH AVENUE SE
NOT TO SCALE



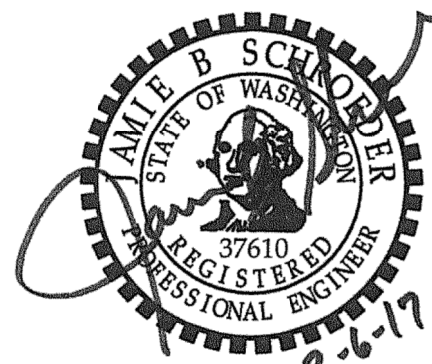
NEW ON-SITE ROAD (LIMITED RESIDENTIAL ACCESS)
NOT TO SCALE

PRELIMINARY ROAD SECTIONS

OWNER/APPLICANT: SSHi, LLC dba D.R. HORTON
12910 TOTEM LAKE BLVD. NE, SUITE 220
KIRKLAND, WA 98034
PHONE: (425) 825-3186

PROJECT SURVEYOR: AXIS SURVEY & MAPPING
MITCH T.S. EVANS, PLS
15241 NE 90TH STREET REDMOND, WA 98052
PHONE: (425) 823-5700 FAX: (425) 823-6700

SCALE: AS NOTED PROJECT NO.: 0035-15-012 SHEET P6.00 OF 10



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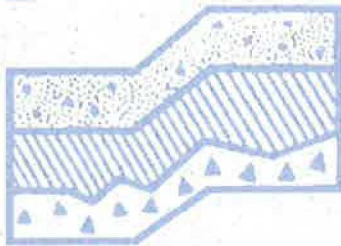
NO.	DATE	REVISION	BY	CK.
1	02/06/17	PRELIMINARY PLAT SUBMITTAL	CMT	JBS

**Entire Document
Available Upon Request**

GEOTECHNICAL REPORT

**MeadowVue
13833 – 156th Avenue SE
Renton, Washington**

Project No. T-7315



Terra Associates, Inc.

Prepared for:

**D.R. Horton
Kirkland, Washington**

February 2, 2017

EXHIBIT 11



Preliminary Technical Information Report

MeadowVue

CPH Project No. 0035-15-012

Renton, WA

Prepared for:

SSHI LLC dba D.R. Horton
12910 Totem Lake Blvd NE,
Suite 220
Kirkland, WA 98034

Prepared by:

CPH Consultants
Jamie Schroeder, PE
Casey Torres, EIT
11431 Willows RD NE, Suite 120
Redmond, WA 98052

February 6, 2017

Jamie Schroeder

From: Patrick Thomas Danner <PDanner@drhorton.com>
Sent: Friday, February 3, 2017 10:30 AM
To: Jamie Schroeder
Subject: FW: Question parcel number is 1463400060

Hey Jamie,

Here is the e-mail as we discussed in the meeting this morning.

Patrick

From: Rohini Nair [<mailto:RNair@Rentonwa.gov>]
Sent: Friday, September 30, 2016 3:40 PM
To: Edward <Edwardk@gibsontraffic.com>
Subject: RE: Question parcel number is 1463400060

Yes.

From: Edward [<mailto:Edwardk@gibsontraffic.com>]
Sent: Friday, September 30, 2016 3:39 PM
To: Rohini Nair
Subject: RE: Question parcel number is 1463400060

Hi still haven't heard anything if it gernates less than 20 PM peak trips are you saying you don't need anything?

Edward Koltonowski, President
Gibson Traffic Consultants
Phone 425.339.8266
edwardk@gibsontraffic.com

From: Edward
Sent: Monday, September 26, 2016 10:24 AM
To: 'Rohini Nair' <RNair@Rentonwa.gov>
Subject: RE: Question parcel number is 1463400060

Just following up on Fridays emails exchange to see if the city needs anything form traffic or not?

Edward Koltonowski, President
Gibson Traffic Consultants
Phone 425.339.8266
edwardk@gibsontraffic.com

From: Edward
Sent: Friday, September 23, 2016 1:16 PM

EXHIBIT 13

To: 'Rohini Nair' <RNair@Rentonwa.gov>
Subject: RE: Question parcel number is 1463400060

So are you saying as this only generates 14 pm peak hour trips that a traffic study is NOT needed—can you also please send a link or pdf of your latest traffic study gueleines thankyou

Edward Koltonowski, President
Gibson Traffic Consultants
Phone 425.339.8266
edwardk@gibsontraffic.com

From: Rohini Nair [<mailto:RNair@Rentonwa.gov>]
Sent: Friday, September 23, 2016 1:07 PM
To: Edward <Edwardk@gibsontraffic.com>
Subject: RE: Question parcel number is 1463400060

Hi Edward,

I have some clarification for the traffic study.
The traffic signal at the intersection of 156th Ave Se & 142nd Place is being constructed by the City. So, I got the clarification today that the proportional share of fee associated with the traffic signal is not applicable for the project we discussed.

So, our standard guidelines of traffic study required for projects that **generate 20 or more peak hour trips** in the AM peak and PM peak will be applicable on this project.

Sincerely
Rohini

Rohini Nair
Civil Engineer
Plan Review Section
City of Renton

1055 - S. Grady Way 6th floor
Renton, WA 98057
Phone: (425) 430-7298
Email: rnair@rentonwa.gov

From: Edward [<mailto:Edwardk@gibsontraffic.com>]
Sent: Wednesday, September 21, 2016 2:15 PM
To: Rohini Nair
Subject: RE: Question parcel number is 1463400060

14 PM peak (13 new) 10 Am peak

Edward Koltonowski, President
Gibson Traffic Consultants
Phone 425.339.8266
edwardk@gibsontraffic.com

From: Rohini Nair [<mailto:RNair@Rentonwa.gov>]
Sent: Wednesday, September 21, 2016 1:59 PM

To: Edward <Edwardk@gibsontraffic.com>

Subject: RE: Question parcel number is 1463400060

Hi Edward,

What is the number of Am peak hour trips for the proposed project? Also, what is the number of PM peak hour trips for the proposed project?

Sincerely

Rohini

From: Edward [<mailto:Edwardk@gibsontraffic.com>]

Sent: Monday, September 12, 2016 3:43 PM

To: Rohini Nair

Subject: FW: Question parcel number is 1463400060

Hi Rohini hope you are well I wanted to check that the pre ap attached is still valid for the transportation traffic study request section

Please contact me as soon as you can – best wishes

Edward Koltonowski, President

Gibson Traffic Consultants

Phone 425.339.8266

edwardk@gibsontraffic.com

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Mail: P. O. Box 156, Everett WA 98206-0156
Phone 425-259-4411; Facsimile 425-258-4435
Web: www.sanforest.com

January 16, 2017

SUMMARY TREE INVENTORY REPORT

Meadowvue Project in a Portion
of the NE ¼ SW ¼ of Section 14, Township 23 North
Range 5 East, W.M., City of Renton,
King County, Washington

Overview: This report serves to provide an inventory and summary analysis of trees proposed for retention or removal on the Meadowvue project site and to comply with standards established under RMC 4-4-130. Our client D. R. Horton provided to the undersigned a copy of a *Boundary & Topographic Survey* map dated December 1, 2016 prepared by Axis Surveying & Mapping. This map depicted various on-site trees and was a supporting reference for this inventory. The undersigned inspected the subject property on November 16, 2016 and again on January 13, 2017. The inventory includes all on-site trees considered to be potential "significant trees" as defined under RMC 4-11-200 (Definitions T) – and includes any tree with a caliper of at least six inches (6"), or an alder or cottonwood tree with a caliper of at least eight inches (8"); *except* that trees qualified as dangerous shall not be considered significant. Summary qualitative and quantitative data were collected for the inventoried trees to provide a basis for determining suitability for retention. Trees determined to be unsuitable for retention on-site were identified based on a visual assessment only, and this type of analysis is referred to as a *level 1 assessment* as defined in the *Tree Risk Assessment Manual*®, (International Society of Arboriculture, Martin Press, 2013). A level 1 assessment is typically used as an expeditious method to identify trees with high likelihood or imminent threat of near-term partial or whole tree failure. Upon inspection the undersigned found that most on-site trees had been previously marked on-site with a numbered aluminum tag, and these numbers were adopted for reporting purposes. Two trees with numbered tags were below the size threshold to be considered significant, but were included in this inventory for disclosure. A few other trees mapped on the survey which were not tagged and were also below the size threshold were excluded from this inventory. Also a few significant-sized trees which were not

EXHIBIT 14



CRITICAL AREAS DETERMINATION FOR

D.R. Horton – Meadowview 13833 156th Avenue SE

Tax Parcel No. 146340-0060

Acre Project #16048

Prepared By:

Acre Environmental Consulting, LLC.
17715 28th Ave. NE
Lake Forest Park, WA 98155
(206) 450-7746

For:

D.R. Horton
12910 Totem Lake Blvd. NE, Suite 220
Kirkland, WA 98034

September 13, 2016

EXHIBIT 15

SITE DESCRIPTION

On September 12, 2016 *Acre Environmental Consulting, LLC* visited the approximate 4.54-acre site located at 13833 156th Avenue SE in the City of Renton, Washington. The site is further located as a portion of Section 14, Township 23N, Range 5E, W.M. The parcel number for this property is 146340-0060. The purpose of this site visit was to locate and assess regulated critical areas on and adjacent to the subject site. Surrounding land use is comprised of single-family residential development and pasture. There are no wetlands or streams located on or adjacent to the subject site.

Acre Environmental Consulting, LLC used the routine methodologies described in the Washington State Wetlands Identification and Delineation Manual (Washington State Department of Ecology Publication #96-94, March 1997) to make a determination regarding the presence of regulated wetlands on the site. In addition, *Acre Environmental Consulting, LLC* evaluated the site using the U.S. Army Corps of Engineers Wetland Delineation Manual produced in 1987 and the U.S. Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region produced in May 2010.

Access to this site from the east via 156th Avenue SE located along the eastern border of the property. This site has a gentle west aspect. A single-family residence and associated infrastructure are located in the east-central part of the property. The rest of the site is occupied by actively grazed pasture with scattered big leaf maple (*Acer macrophyllum*, FacU). Typical vegetation in the pasture is represented by small patches of Himalayan blackberry (*Rubus armeniacus*, Fac) with colonial bentgrass (*Agrostis capillaris*, Fac), velvetgrass (*Holcus lanatus*, Fac), tall fescue (*Schedonorus arundinaceus*, Fac), creeping buttercup (*Ranunculus repens*, Fac), common Tansy (*Tanacetum vulgare*, FacU), purple dead-nettle (*Lamium purpureum*, Nol/ Upl), English plantain (*Plantago lanceolata*, FacU), and white clover (*Trifolium repens*, Fac). Typical soils on the site have a Munsell color of dark brown (10YR 3/3), with a texture of sandy loam from 0 to 18 inches below the surface. Soils were dry throughout the profile during our September 12, 2016 site investigation.

No wetlands or streams are located on the subject site, and there are no adjacent wetlands or streams that would extend buffers on to the subject site.

TERMS & CONDITIONS

The environmental consulting work conducted, including this Critical Areas Determination letter (collectively the "Services") is supplied to D.R. Horton (the "Client") as a means of determining whether any wetlands, streams, and/or fish and wildlife habitats regulated by the City of Renton Critical Areas Regulations exist on, or adjacent to the site. The Services are provided in accordance with the following General Terms and Conditions (the "Terms"). In accepting the Services provided by *Acre Environmental Consulting, LLC* ("Acre"), the Client voluntarily enters into and agrees to the binding effect of the following Terms.

This report is intended to provide information deemed relevant in the Client's attempt to comply with the regulations currently in effect. The work for this report has conformed to the standard of care employed by professional ecologists in the Pacific Northwest. All other representations or warranties, whether express or implied, are hereby disclaimed concerning the work or this report. This report is based largely on readily observable conditions and, to a lesser extent, on readily ascertainable conditions. No attempt has been made to determine hidden or concealed conditions. If such conditions exist or arise, the information contained in this report may be rendered inaccurate or incomplete based upon those conditions. Acre acts solely as an independent contractor in providing the Services to the Client, and nothing in the provision of such Services shall be construed as creating an agency, partnership, joint venture or other similar legal relationship between Acre and the Client.

Please note that Acre did not provide detailed analyses of other permitting requirements not discussed in this report (i.e., structural, drainage, geotechnical, or engineering requirements).

The laws applicable to Critical Areas are subject to varying interpretations. While Acre observed professional industry standards when completing this review, the information included in this report does not guarantee approval by any federal, state, and/or local permitting agencies. Therefore, all work on this property should not commence until permits have been obtained from all applicable agencies. If there are any questions regarding this report, please contact me at 206.450.7746.

Acre Environmental Consulting, LLC.



Louis Emenhiser
Principal Wetland Ecologist
Professional Wetland Scientist #1680

Proposed Construction Dates

Grading and road construction will start upon approval of construction plans fall of 2017.

Hours of Operation for Single Family Construction Site

Per City of Renton:

Monday – Friday:	7am – 8pm
Saturday:	9am – 8pm
Sunday:	None

Proposed Hauling/Transportation Routes

All equipment materials and laborers will enter the site off 156th Ave SE. A detailed haul route will be provided by the contractor selected to construct the improvements. It is anticipated that the haul route would be via SR-169 to 154th PI SE. Heading north on 154th PI SE the roadway turns into SE 142nd PI then to 156th Ave SE. The project site is located on the left (west) side of 156th Ave SE.

Measures to be implemented to minimize dust, traffic and transportation impacts, mud, noise, and other noxious characteristics

Dust: Best management practices will be used to minimize dust on the construction site. Water trucks or metered fire hoses will be used as needed to wet down the areas used by construction equipment. Disturbed slopes will be hydroseeded per the Erosion/Sedimentation Control Plan to control dust.

Traffic: During road and building construction, the traffic entering and leaving the site will consist of subcontractors and deliveries. When arriving for work, the subcontractors will be travelling opposite the majority of traffic leaving the Meadowvue Neighborhood, and materials are primarily delivered at off peak hours during the day. None of these operations are anticipated to have a significant impact on the peak or non-peak hour traffic in the area.

Any special hours proposed for construction or hauling

There are no special hours proposed for construction or hauling without prior approval from the City of Renton.

Preliminary Traffic Control Plan

General access to the property will be from 156th Ave SE. It is anticipated that the existing roadway will remain open during construction and access to the properties along 156th Ave SE will be maintained. Traffic Control is anticipated to consist of occasional single lane closures along 156th Ave SE. A standard one-lane, two-way traffic control with flaggers may be used similar to WSDOT Plan TC1.

EXHIBIT 16

Alex Morganroth

From: Corey W Thomas
Sent: Monday, April 03, 2017 11:21 AM
To: 'Patrick Thomas Danner'
Cc: Alex Morganroth; 'Jamie Schroeder'; Jennifer Reiner
Subject: RE: Renton Fire Authority (RFA) Comments, MeadowVue Prelim Plat, LUA 17-000106

Patrick,

The fire marshal has reviewed and approved this variance request. All fourteen proposed homes shall be equipped with an approved residential fire sprinkler system and the requirement for a cul-de-sac type turnaround has been dropped with the substitution of a hammerhead type turnaround instead. Thank you for working with us and let us know if you need anything further.

Corey Thomas, *Lead Plans Review Inspector*
Renton Regional Fire Authority | Office of the Fire Marshal
1055 S Grady Way Renton, WA 98057
425-430-7024 | 425-430-7722 Fax
cthomas@rentonrfa.org (New Email)

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From: Patrick Thomas Danner [mailto:PDanner@drhorton.com]
Sent: Thursday, March 30, 2017 16:34
To: Corey W Thomas <CThomas@RentonRFA.org>
Cc: Alex Morganroth <AMorganroth@Rentonwa.gov>; 'Jamie Schroeder' <Jamie@cphconsultants.com>; Jennifer Reiner <jreiner@drhorton.com>
Subject: RE: Renton Fire Authority (RFA) Comments, MeadowVue Prelim Plat, LUA 17-000106

Hi Corey,

Per our discussion a few minutes ago, we propose to sprinkler all homes and use the improvements in 154th Ave SE as an emergency vehicle turnaround as has been previously approved for other projects. The attached site plan shows a 20'-wide paved surface within 154th Ave SE which meets the standards listed below. Please let me know if you need any further information.

Thanks,

Patrick Danner
Entitlements Analyst
D.R. Horton | *America's Builder*
12910 Totem Lake Blvd. NE, #220
Kirkland WA 98034
Office: [425-821-3400](tel:425-821-3400) Ext. 5144

EXHIBIT 17

ADVISORY NOTES TO APPLICANT
LUA17-000106



Application Date: February 23, 2017
Name: MeadowVue Preliminary Plat

Site Address: 13833 156th Ave SE
Renton, WA 98059-6746

PLAN - Planning Review - Land Use

Version 1 | April 05, 2017

ENG - Engineering Review Comments

Contact: Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

Recommendations: DEPARTMENT OF COMMUNITY
AND ECONOMIC DEVELOPMENT

M E M O R A N D U M

DATE: March 31, 2017

TO: Alex Morganroth, Associate Planner

FROM: Ian Fitz James, Civil Plan Reviewer

SUBJECT: Utility and Transportation Comments for MeadowVue Plat

LUA 17 000106

I have reviewed the application for MeadowVue Plat located at 13833 156th Avenue SE and have the following comments:

EXISTING CONDITIONS

The site is approximately 4.54 acres in size and is rectangular in shape. The site contains an existing single family residence and associated landscaping and lawn areas. The site is fronted by 156th Avenue SE to the east and unopened right of way to the west. The City of Renton limits coincide with the south property line.

WATER: Water service is provided by King County Water District 90.

SEWER: The site is in the City of Renton sewer service area. There is no existing sewer main in 156th Avenue SE east of the site or in the unopened right of way west of the site (154th Avenue SE). There is an existing 8" PVC sewer south of the site in 156th Avenue SE that flows from north to south. Reference Project File WWP2703838 in COR Maps for record drawings. There is also an existing 8" PVC sewer approximately 680' west of the site in 152nd Avenue SE that flows from north to south. Reference Project File WWP2702660 in COR Maps for record drawings. The existing home on the site is served by a private on site septic system.

STORM DRAINAGE: The majority of the site is covered by grassy areas. The site slopes moderately from the northeast corner to the southwest corner. There is no existing on site stormwater conveyance system. Drainage from the site sheet flows from northeast to southwest where it collects in the 154th Avenue SE right of way and flows south into King County to a ditch along the eastern frontage of the existing gravel road. There is no off site stormwater conveyance system in 156th Avenue SE east of the site or in the unopened right of way west of the site (154th Avenue SE).

STREETS: 156th Avenue SE east of the site is classified as a minor arterial street. The 156th Avenue SE existing street section consists of a pavement width of approximately 32' with an 11' travel travel lane in each direction (north and south), a 7' paved shoulder along the western frontage, and a 3' paved shoulder along the eastern frontage.

154th Avenue SE west of the site has no existing paved roadway. There is a gravel roadway from the existing home at 13929 154th Avenue SE south to the intersection of SE 142nd Street in the 154th Avenue SE right of way. Eight homes located in King County take access from this gravel roadway including the residence at 13929 154th Avenue SE.

WATER COMMENTS

1. A water availability certificate from King County Water District 90 was provided with the site plan submittal. The water availability certificate noted that a flow rate of 1,750 gallons per minute (gpm) can be provided to the site by an 8" water main extension to the site.
2. Review of the water plans will be conducted by King County Water District 90 and the Renton Regional Fire Authority.
3. Plans approved by King County Water District 90 shall be routed to the City for final review prior to permit issuance.

SEWER COMMENTS

1. The preliminary utility plan submitted by CPH Consultants shows the following sections of new sewer:
 - a. 171 LF 8" PVC sewer flowing south in 156th Avenue SE from the northern project extents to the intersection of the new internal site road

EXHIBIT 18

PLAN - Planning Review - Land Use

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ENG - Engineering Review Comments

Contact: Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

- b. 654 LF 8" PVC sewer flowing west in the internal site road from 156th Avenue SE to the 154th Avenue SE right of way.
- c. 164 LF 8" PVC of sewer flowing north in the 154th Avenue SE right of way.
- d. 653 LF 8" PVC of sewer flowing west from the 154th Avenue SE right of way to the existing 8" sewer main in 152nd Avenue SE.

The proposed sewer layout is appropriate to serve the development and conforms to requirements in City code.

- 2. All new side sewers shall be 6". All side sewers shall flow by gravity to the main at a minimum slope of 2%. Each lot shall have its own side sewer.
- 3. The existing home on the site is served by a private on site septic system. The septic system shall be abandoned in accordance with King County Department of Health regulations and Renton Municipal Code.
- 4. A permit from King County may be required for work outside of City limits including work in the King County right of way. Applicant shall contact King County for permitting requirements for work outside of the City of Renton.
- 5. Each lot is subject to a system development charge (SDC) for sewer service. The SDC for sewer service is based on the size of the domestic water service. The 2017 SDC for sewer service with a 3/4" or 1" water meter is \$2,540.00. Sewer SDC fees are due at construction permit issuance.
- 6. Each lot is subject to a Special Assessment District (SAD) fee. The site is located in the Central Plateau Interceptor SAD. The fee associated with this SAD is \$351.95 plus interest per lot. SAD fees are due at construction permit issuance.

STORM DRAINAGE COMMENTS

- 1. A Preliminary Drainage Plan and Technical Information Report (TIR) prepared by CPH Consultants dated February 6, 2017 were submitted to the City as part of the site plan submittal. The site is located in the City's Flow Control Duration Standard (Forested Site Conditions). The site is located in the Lower Cedar River drainage basin. The TIR was completed in accordance with the standards found in the 2017 Renton Surface Water Design Manual (RSWDM). All nine core and six special requirements were addressed.

A detention pond is proposed to meet the flow control facility requirement to satisfy Core Requirement #3. The detention pond has been sized to the City's Flood Problem Flow Control Standard (King County Level 3) using WWHM to help mitigate potential downstream drainage issues. The project matches the pre developed discharge rates from 50% of the 2 year peak flow up to the full 50 year peak flow and peak discharge rates for the 2 and 10 year return periods as required in the City's Flow Control Duration Standard (Forested Site Conditions) area. In addition, the site matches the 100 year peak discharge rate to the pre developed 100 year peak discharge rate to meet the City's Flood Problem Flow Control Standard.

The project is subject to Basic Water Quality treatment standards to satisfy Core Requirement #8. A permanent wetpool in the detention pond is proposed to meet this requirement.

The project is subject to on site BMP requirements found in Core Requirement #9. Full dispersion and full infiltration are not feasible on site BMPs as the minimum design requirements cannot be met. Permeable pavement, bioretention, and rain gardens were deemed infeasible per the infiltration testing in the geotechnical report. Limited infiltration is deemed infeasible due to the silt in the soils. Basic dispersion may be feasible. If feasible, basic dispersion should be implemented to the maximum extent feasible. Feasibility of on site BMPs for each lot will be reviewed at the time of single family building permit. The restricted footprint BMP can still be used in addition to receive the 10% lot area modeling credit when sizing the detention pond. Final TIR should clearly explain how target surfaces from plat infrastructure (road and sidewalk) are mitigated by on site BMPs or how BMPs are infeasible for these surfaces.

- 2. A geotechnical report evaluating site soil conditions was prepared by Terra Associates Inc. dated February 2, 2017. The report describes the site's erosion hazard level as low. The soils on site were described as 6" to 8" of organics over 2.5' to 3' of medium dense silty sand with gravel over dense to very dense silty sand with gravel. Terra Associates evaluated onsite soils for infiltration using the "falling head percolation test" at four locations. The falling head percolation test is an approved infiltration testing procedure per Section C.1.3 of the RSWDM. The measured infiltration rate was 0" in/hr in each location. The report concludes that infiltration of stormwater and low impact development (LID) techniques at the site are infeasible.

- 3. New storm drain shall be designed and sized in accordance with the standards found in Chapter 4 of the 2017 RSWDM. Storm drain with a minimum diameter of 12" is required in the public right of way. Drainage improvements along the new internal site street, 156th Avenue SE, and 154th Avenue SE frontages are required to conform to the City's street standards.

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Contact: Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

4. Each new lot is subject to a stormwater system development charge. The 2017 SDC for stormwater is \$1,608.00 per lot. A credit for one lot will be issued for the existing home. Stormwater SDC fees are due at construction permit issuance.

TRANSPORTATION/STREET COMMENTS

1. Each new lot is subject to a transportation impact fee. The 2017 transportation impact fee is \$5,430.85 per single family home. A credit for one lot will be issued due for the existing home. The transportation impact fee is due at the time of building permit issuance for each individual home.

2. 156th Avenue SE is classified as a minor arterial. Per RMC 4 6 060, the minimum right of way width for a minor arterial with four lanes is 91'. The paved roadway section is 54' consisting of 4 – 11' travel lanes and 2 – 5' bike lanes. A 0.5' curb, 8' planter, and 8' sidewalk are required along each side of the roadway. The King County Assessor's Map shows a current right of way width of approximately 60' for 156th Avenue SE. A right of way dedication of approximately 15.5' would be required along the project frontage.

The City's Transportation Department has established a corridor plan for this section of 156th Avenue SE. The corridor determined by the City's Transportation Department requires a right of way width of 71'. The paved roadway section is 44' consisting of 2 – 11' travel lanes, 1 – 12' center turn lane, and 2 – 5' bike lanes. A 0.5' curb, 8' planter, and 5' sidewalk are required along each side of the roadway.

3. The applicant submitted a street modification request dated February 3, 2017 with the land use application. The street modification request is to conform to the City's adopted corridor plan for the 156th Avenue SE frontage.

City staff is recommending approval of the applicant's modification request. Please see the Street Modification Criteria and Analysis for a complete summary of the request, staff analysis, and staff recommendation.

4. 154th Avenue SE is classified as a residential access street. Per RMC 4 6 060, the minimum right of way width for a residential access street is 53'. The paved roadway section is 26' consisting of 2 – 10' travel lanes and 1 – 6' parking lane. A 0.5' curb, 8' planter, and 8' sidewalk are required along each side of the roadway.

As no existing paved roadway exists for 154th Avenue SE, a 20' paved half roadway section is required along the frontage. The new curb line shall be set 13' east of the center of right of way. Frontage improvements per RMC 4 6 060 shall be built along the frontage. No right of way dedication is required along this frontage.

5. The new internal site road shall be designed using the residential access street section. Per RMC 4 6 060, the minimum right of way width for a residential access street is 53'. The paved roadway section is 26' consisting of 2 – 10' travel lanes and 1 – 6' parking lane. A 0.5' curb, 8' planter, and 5' sidewalk are required along each side of the roadway.

6. Per RMC 4 6 060, a curb return of 35' is required to meet City standards at the intersection of the internal site road and 156th Avenue SE. A curb return radius of 25' is required at the intersection of the internal site road and 154th Avenue SE.

7. Two perpendicular curb ramps per WSDOT standards are required at each corner. A receiving ramp or area shall be provided across the street from each curb ramp.

8. Per RMC 4 4 080, the maximum width of a single loaded garage driveway is 9' and the maximum width of a double loaded garage driveway is 16'. If a garage is not present, the maximum driveway width is 16'. Driveways shall not be closer than 5' to any property line.

9. Per RMC 4 6 060, street lighting is required as the project is larger than four residential units. A photometric study and street lighting plan per City standard shall be submitted at the time of construction permit review.

10. The project does not require a Traffic Impact Analysis as the project produces less than 20 vehicles per hour in both the AM and PM peak periods.

11. Paving and trench restoration within the City of Renton right of way shall comply with the City's Restoration and Overlay requirements.

GENERAL COMMENTS

1. The fees listed are for 2017. The fees that are current at the time of the respective permit issuance will be levied. Please see the City of Renton website for the current fee schedule.

2. Retaining walls that are 4' or taller from bottom of footing and stormwater detention vaults will require a separate building permit. Structural calculations and plans prepared by a licensed engineer will be required as part of the building permit review.

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Contact: Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

3. All civil plans shall conform to the current City of Renton survey and drafting standards. Current drafting standards can be found on the City of Renton website.
4. A separate plan submittal will be required for a construction permit for utility work and street improvements. All plans shall be prepared by a licensed Civil Engineer in the State of Washington.
5. Please see the City of Renton Development Engineering website for the Construction Permit Application and Construction Permit Process and Submittal Requirements. Please contact the City to schedule a construction permit intake meeting.

Fire Review - Building Comments

Contact: Corey Thomas | 425-430-7024 | cthomas@rentonrfa.org

Recommendations: Environmental Impact Comments:

1. The fire impact fees are applicable at the rate of \$718.56 per single family unit. This fee is paid at time of building permit. Credit would be granted for one existing home.

Code Related Comments:

1. The fire flow requirement for a single family home is 1,000 gpm minimum for dwellings up to 3,600 square feet (including garage and basements). If the dwelling exceeds 3,600 square feet, a minimum of 1,500 gpm fire flow would be required. A minimum of one fire hydrant is required within 300 feet of the proposed buildings and two hydrants if the fire flow goes up to 1,500 gpm. Existing hydrants can be counted toward the requirement as long as they meet current code, including 5 inch storz fittings. Existing hydrants are not within 300 feet of the furthest proposed dwellings, so new hydrants are required. A water availability certificate is required from King County Water District 90.
2. Fire department apparatus access roadways are required to be minimum 20 feet wide fully paved, with 25 feet inside and 45 feet outside turning radius. Fire access roadways shall be constructed to support a 30 ton vehicle with 75 psi point loading. Access is required within 150 feet of all points on the buildings. Dead end streets that exceed 150 feet are required to have an approved turnaround. Dead end streets shall not exceed 700 feet. Dead end streets that exceed 300 feet require a full 90 foot diameter cul de sac type of turnaround. Fire sprinkler systems are required for all homes that are beyond 500 feet dead end, in this case that would be lot 1.

Planning Review Comments

Contact: Alex Morganroth | 425-430-7219 | amorganroth@rentonwa.gov

- Recommendations:
1. RMC section 4 4 030.C.2 limits haul hours between 8:30 am to 3:30 pm, Monday through Friday unless otherwise approved by the Development Services Division.
 2. Commercial, multi family, new single family and other nonresidential construction activities shall be restricted to the hours between seven o'clock (7:00) a.m. and eight o'clock (8:00) p.m., Monday through Friday. Work on Saturdays shall be restricted to the hours between nine o'clock (9:00) a.m. and eight o'clock (8:00) p.m. No work shall be permitted on Sundays.
 3. Within thirty (30) days of completion of grading work, the applicant shall hydroseed or plant an appropriate ground cover over any portion of the site that is graded or cleared of vegetation and where no further construction work will occur within ninety (90) days. Alternative measures such as mulch, sodding, or plastic covering as specified in the current Renton Surface Water Management Design Manual may be proposed between the dates of November 1st and March 31st of each year. The Development Services Division's approval of this work is required prior to final inspection and approval of the permit.
 4. A National Permit Discharge Elimination System (NPDES) permit is required when more than one acre is being cleared.
 6. The applicant may not fill, excavate, stack or store any equipment, dispose of any materials, supplies or fluids, operate any equipment, install impervious surfaces, or compact the earth in any way within the area defined by the drip line of any tree to be retained.
 7. The applicant shall erect and maintain six foot (6') high chain link temporary construction fencing around the drip lines of all retained trees, or along the perimeter of a stand of retained trees. Placards shall be placed on fencing every fifty feet (50') indicating the words, "NO TRESPASSING - Protected Trees" or on each side of the fencing if less than fifty feet (50'). Site access to individually protected trees or groups of trees shall be fenced and signed. Individual trees shall be fenced on four (4) sides. In addition, the applicant shall provide supervision whenever equipment or trucks are moving near trees.
 8. This permit is shall comply with the Bald and Golden Eagle Protection Act. The permitted is responsible for adhering to the U.S. Fish and Wildlife Service National Bald Eagle Management Guidelines (2007) and /or your U.S. Fish and Wildlife Service permit.

Community Services Review Comments

Contact: Leslie Betlach | 425-430-6619 | LBetlach@rentonwa.gov

- Recommendations:
1. Trails should include signed shared Roadway on 156th per adopted trails plan.
 2. Parks Impact fees per ordinance 5824 applies.
 3. Street trees – Do not use Callery Pear, use Skyline Honeylocust, Blue Ash, or Sugar Maple on interior streets and one of these but different along 154th Ave. SE.

Police Plan Review Comments

Contact: Cyndie Parks | 425-430-7521 | cparks@rentonwa.gov

- Recommendations: Estimated CFS expected: 14 ann

Alex Morganroth

From: Marv Bettles <MarvBettles@centurylink.net>
Sent: Tuesday, March 07, 2017 6:27 AM
To: Alex Morganroth
Subject: MeadowVue Development

March 7th, 2017

To: Renton Planning

Renton City Hall 6th Floor

1055 South Grady Way

Renton, WA 98057

I am concerned about the impact of the proposed MeadowVue development at 13833 156th Ave SE, Renton, WA. Our home is at 14009 154th Ave. S.E., just south and west of the proposed development. We live in the county and the proposed development is in the city of Renton. I very much appreciate the new neighborhood meeting process that was initiated in the last 6 months. This goes a long way toward a good dialog between the area residents and the city.

I am not against this development. On the contrary I am in favor of it. I am hoping that the development will improve some of the drainage issues in the area with the addition of the retention pond.

There are 3 main issues facing the residents along 154th:

1) The drainage. There is currently a ditch that was dug along 154th. At times this ditch delivers a lot of water south on 154th. The ditch starts north of the proposed development. The ditch was dug in the 1980s by those who live north. At that time the amount of drainage sometimes overwhelmed the 12" culverts & existing ditch. The home at 15322 SE 142nd St was flooded and the gravel road (154th) just north of SE 142nd St. was flooded every year. Since then, the flow has been slowed by growth and debris in the ditch to the north. Still, we have problems. In Feb 2017, a month with a lot of rain, the 12" culverts were overwhelmed and water ran over the driveways and flooded several areas. Water overflowed the ditch and ran down the road. The proposed project will reopen the water from the north. There will be a paved road to run along instead of an overgrown ditch. This will add to our problems even if all of the water from the project is handled on site. If you add to that the emergency overflow from the retention pond those south on 154th will have a significantly greater problem than we have to day.

2) Fees instead of improvement. In the past most of the development along 154th has been done without a requirement to improve the road, utilities, drainage, etc. Some road and utility fees have been paid in lieu of development but those fees have never been applied to the area for which they have been collected. I believe that the road and all of the utilities should be required to be completed along the frontage of the new development along 154th. Leaving this undeveloped will only push the responsibility off to others in the future. Based on the past, any funds collected in lieu of development will not be made available.

EXHIBIT 19

3) The road. The development will provide access to the existing gravel road which will overtake our ability to maintain and use the road. The current 12' wide gravel road is only on the West side of the 60 ft. right-of-way and cannot accommodate two-way traffic. Since King County abandoned its responsibility to maintain the road the current homes bordering the road have been left with that responsibility. We cannot be expected to provide the maintenance for additional through traffic. The only clear solution is to block the new road at the south end of the proposed development. This will have to be done with some kind of gate to allow for temporary access from both directions in case of emergency. Many times we have vehicles that attempt to turn around by using our driveways or lawns doing damage to both. People have driven over shrubbery and crashed into trees. When large trucks follow their onboard maps up the road and find out there is no way out it would be nice to be able to allow them through without opening the road up to daily traffic.

There are two main issues this project will contribute to, but are not specific to the proposed project.

1) Traffic. The east side of 156th cannot enter traffic because the traffic is backed up in front of their access. The people that live along 154th have a similar problem. Due to the limits of 156th a second arterial has been opened up. This second arterial begins at 142nd PI where people turn left onto 154th to avoid 156th Ave. Then they go left on 142nd St and wind their way through the neighborhoods to make their way to Coal Creek Parkway. This secondary arterial prevents those along the 154th gravel road from leaving or getting to the gravel road because of backed up traffic.

2) Sewer. It appears that there are a dozen or so homes south of the development that will be completely surrounded by sewer lines that they cannot access. This is of some concern.

Both of these issues would benefit from some kind of long term plan for the area. Are the traffic problems with 156th being addressed by City, County, or State planning agencies? Should I be talking to King County as well as Renton on these issues? I remain available to help plan and cooperate in any way I can to help resolve the issues we face. I look forward to the new project.

Thank you,

Marv Bettes

14009 154th Ave SE

Renton, WA 98059

425-226-2104

Email: MarvBettes@centurylink.net

Alex Morganroth, Associate Planner

Dept. of Community and Economic Development

1055 South Grady Way Renton, WA 98057

Re: MeadowVue Preliminary Plat /LUA17-000106, EFC, MOD, PP

Our home is at 14035 154th Ave. S.E., south and west of the proposed development. We live in the county and the proposed development is in the City of Renton.

I appreciate the neighborhood meeting that allowed us a chance for input into the Renton planning process.

Our concerns are as follows:

- 1) **Drainage:** The current drainage ditches running north to south (direction of flow) along 154th Ave SE are minimal and maintained by the residents. An increase in hard surface runoff added to the ditches will increase the current flooding issues along 154th Ave SE especially the lower portion of the road towards SE 142nd St. The storm system capacity will need to be increased all the way from the new plat to the crossing of SE 142nd St.

- 2) **154th Ave SE:** The MeadowVue Plat should not be provided access to 154th Ave SE. The existing 12 foot wide gravel road is the responsibility of the current homeowners to maintain. King County does not maintain the road. Current traffic must pull off the side of the road to pass and parking on the roads grass shoulders further limits the roads operational width. The road surface will not stand up to increased traffic. Existing homeowners cannot be expected to provide the maintenance for additional through traffic. The solution is to block the new road at the south end of the proposed development. A locked gate may need to be provided to allow emergency vehicle access. Non-resident vehicles that attempt to use 154th Ave SE turn around by using our driveways or lawns doing damage to both.

We believe that the road and all of the utilities should be completed along the frontage of the new development along 154th Ave SE by the developer.

I believe the City of Renton will ultimately be the service provider for all utilities and roads in the area and we will become residents of the City. It is my hope that overall planning is being done for this area as development moves forward. Roads, sewer, water and other utilities are coming and traffic is already here. I am sure the City realizes the poor traffic planning that has

been done for north-south traffic movement along the Renton – Bellevue corridor. 156th Ave SE needs to be four lanes, expensive!

Regards,


Scott and Diane Christensen

14035 154th Ave SE

Renton, WA 98059

425-228-8284

Email: cfive5@msn.com

Alex Morganroth

From: Alex Morganroth
Sent: Friday, March 17, 2017 9:56 AM
To: 'Scott Christensen'
Cc: 'Bob '; 'Gary'; 'Norie '; 'Roger'
Subject: RE: MeadowVue Preliminary Plat /LUA17-000106, EFC, MOD, PP

Hi Scott,

Thank you for your additional comments. I will add them to the public record. At this point, I cannot tell you exactly what will be required with regards to access, as the our review team has just begun the review process. As a Party of Record, you will receive a copy of all correspondence with the applicant – including the comments from our various plan reviewers.

Please note that we do automatically send updates to properties near the project. If anyone else in the area would like to be added as a Party of Record to the project, they will need to send me (via email or mail) a request that includes their full name, address, and contact information.

Thank you,

Alex Morganroth, Associate Planner

City of Renton | CED | Planning Division
1055 S Grady Way | 6th Floor | Renton, WA 98057
(425) 430-7219 | amorganroth@rentonwa.gov

ELECTRONIC PLAN SUBMITTAL AND REVIEW BEGINNING ON APRIL 3RD!

For more information on Electronic Plan Review, please [click here](#)

From: Scott Christensen [mailto:scottc@chsengineers.com]
Sent: Thursday, March 16, 2017 8:48 PM
To: Alex Morganroth <AMorganroth@Rentonwa.gov>
Cc: 'Bob ' <Bob@McCorkleCPA.com>; 'Gary' <baggy505@msn.com>; 'Norie ' <Norie48@comcast.net>; 'Roger' <RogerOvera@aol.com>; 'Scott ' <ScottC@chsengineers.com>
Subject: RE: MeadowVue Preliminary Plat /LUA17-000106, EFC, MOD, PP

Alex, I have done a quick review of the Preliminary Technical Information for the proposed referenced plat. It would appear that the proposed release of storm water from the new plat is less than what is currently flowing off the property. Correct me if I am wrong please. I believe the biggest concern of the people on the current privately maintained gravel road is going to be thru traffic. My suggestion would be a chain link fence enclosing the paved portion of 154th Ave SE closing off any access to the gravel portion of 154th Ave SE . If this does not happen there will be people from the plat and people cutting thru the plat from 156th Ave SE and then blasting down the gravel road to cut around the new stop light on 156th Ave SE and SE 142 Place. Not an acceptable situation. As stated earlier by one of the residents we are already subject to random drivers turning around in our driveways and destroying our property. The chain link fence would still allow the most northerly of the current property owners to use the west side of the right of way as it is his current driveway.

Would you please let the seven current residents of the privately maintained gravel portion of 154th Ave SE know if the City intends to block access to 154th Ave SE at this location?

Thank you,

Scott Christensen

From: Alex Morganroth [<mailto:AMorganroth@Rentonwa.gov>]
Sent: Tuesday, March 14, 2017 8:35 AM
To: 'Scott Christensen'
Subject: RE: MeadowVue Preliminary Plat /LUA17-000106, EFC, MOD, PP

Hi Scott,

Thank you for your comments. You have officially been added as a "Party of Record" for the MeadowVue project and in the future will receive copies of all reports/decisions. A hardcopy letter will go out in the mail today confirming the receipt of your comments.

Feel free to let me know if you have any questions.

Thank you,

Alex Morganroth, Associate Planner
City of Renton | CED | Planning Division
1055 S Grady Way | 6th Floor | Renton, WA 98057
(425) 430-7219 | amorganroth@rentonwa.gov

ELECTRONIC PLAN SUBMITTAL AND REVIEW BEGINNING ON APRIL 3RD!

For more information on Electronic Plan Review, please [click here](#)

From: Scott Christensen [<mailto:scottc@chsengineers.com>]
Sent: Tuesday, March 14, 2017 6:59 AM
To: Alex Morganroth <AMorganroth@Rentonwa.gov>
Cc: 'DIANE and SCOTT CHRISTENSEN' <CFIVE5@msn.com>
Subject: MeadowVue Preliminary Plat /LUA17-000106, EFC, MOD, PP

Alex, please see attached letter concerning the plat of MeadowVue. Let me know if you would like it snail mailed to you.

Thank you,

Scott Christensen

Alex Morganroth

From: norie48@comcast.net
Sent: Tuesday, March 21, 2017 10:42 AM
To: Alex Morganroth
Subject: MeadowVue Preliminary Plat /LUA17-000106, EFC, MOD, PP

Norel and Evelyne Hanson
14024 154th Ave SE
Renton, Wa 98059
email: norie48@comcast.net
Phone: (425)271-5404

Please include us as a party of record on the above proposed MeadowVue project. Our home is located in King County on the border of the City of Renton and MeadowVue project. I have some concerns about the impact of the project on our section of 154th Ave SE which is currently a dead end single lane gravel road and non-maintained by King County but by our neighborhood. I have not seen anything in the proposals if access to the county section of 154th Ave SE will be accessible to the south of the project or some sort of barrier will be placed to limit access. I also have some concerns about the use of the current ditches along our section of 154th Ave SE. As I watch the current ditches fill to capacity with water from the northern City of Renton section of 154th Ave SE I question how the increased drainage from this project will impact our current ditches. These ditches as stated in the proposal are shallow sloping grass ditches with 12" culverts at most driveways. These culverts are sometimes over filled to capacity and spill out onto the gravel road and cause flooding at the end of the road.

I hope we will not be left with the impact of excessive traffic on a county non-maintained road and drainage problems from excess water diverted along our street from this project. I am hoping that the City of Renton and Project Developers will take our concerns into consideration to help find a workable solution for us all.

Is there any coordination between King County Roads and SWM concerning this project? If so, who are the contacts?

Thank You for adding us to your party of record.

Norel and Evelyne Hanson

March 8, 2017

Marv Bettes
14009 154th Ave SE
Renton, WA 98059

**SUBJECT: MEADOWVUE PRELIMINARY PLAT COMMENT RESPONSE LETTER
LUA17-000106**

Dear Mr. Bettes:

Thank you for your comments received March 7, 2017 related to the MeadowVue Preliminary Plat wherein you raised concerns regarding the proposed project. Your email will be added to the public record for consideration by the reviewing official and you have been added as a party of record.

To address your drainage, road improvements, traffic and sewer concerns the applicant will be required to demonstrate compliance with the City's development regulations as well as Washington State's Environmental Policy Act (SEPA) which include requirements for mitigation for impacts caused by the development. The City will provide analysis of the proposal in three upcoming documents: the Environmental Review Committee Report, the Staff Recommendation to the Hearing Examiner, and the Hearing Examiner Decision (Final Decision). You will receive copies of all correspondence.

Thank you for your interest in this project and if you have any further questions please contact me at 425-430-7219 or at amorganroth@rentonwa.gov.

Sincerely,

Alex Morganroth
Associate Planner

cc: File LUA17-000106

March 22, 2017

Norel and Evelyne Hanson
14024 154th Ave SE
Renton, WA 98059

**SUBJECT: MEADOWVUE PRELIMINARY PLAT COMMENT RESPONSE LETTER
LUA17-000106**

Dear Mr. and Mrs. Hanson:

Thank you for your comments received March 21, 2017 related to the MeadowVue Preliminary Plat wherein you raised concerns regarding the proposed project. Your comments will be added to the public record for consideration by the reviewing official and you have been added as a party of record.

To address your drainage, road improvements, traffic and sewer concerns the applicant will be required to demonstrate compliance with the City's development regulations as well as Washington State's Environmental Policy Act (SEPA) which include requirements for mitigation for impacts caused by the development. The City will provide analysis of the proposal in three upcoming documents: the Environmental Review Committee Report, the Staff Recommendation to the Hearing Examiner, and the Hearing Examiner Decision (Final Decision). You will receive copies of all correspondence.

Thank you for your interest in this project and if you have any further questions please contact me at 425-430-7219 or at amorganroth@rentonwa.gov.

Sincerely,

Alex Morganroth
Associate Planner

cc: File LUA17-000106

March 14, 2017

Scott and Diane Christensen
14035 154th Ave SE
Renton, WA 98059

**SUBJECT: MEADOWVUE PRELIMINARY PLAT COMMENT RESPONSE LETTER
LUA17-000106**

Dear Mr. and Mrs. Christensen:

Thank you for your comments received March 14, 2017 related to the MeadowVue Preliminary Plat wherein you raised concerns regarding the proposed project. Your email will be added to the public record for consideration by the reviewing official and you have been added as a party of record.

To address your drainage, road improvements, traffic and utility concerns the applicant will be required to demonstrate compliance with the City's development regulations as well as Washington State's Environmental Policy Act (SEPA) which include requirements for mitigation for impacts caused by the development. The City will provide analysis of the proposal in three upcoming documents: the Environmental Review Committee Report, the Staff Recommendation to the Hearing Examiner, and the Hearing Examiner Decision (Final Decision). You will receive copies of all correspondence.

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Sincerely,

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